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2024/0223

Mrs Helen Price

20 Greenfoot Lane, Old Town, Barnsley, S75 2SY

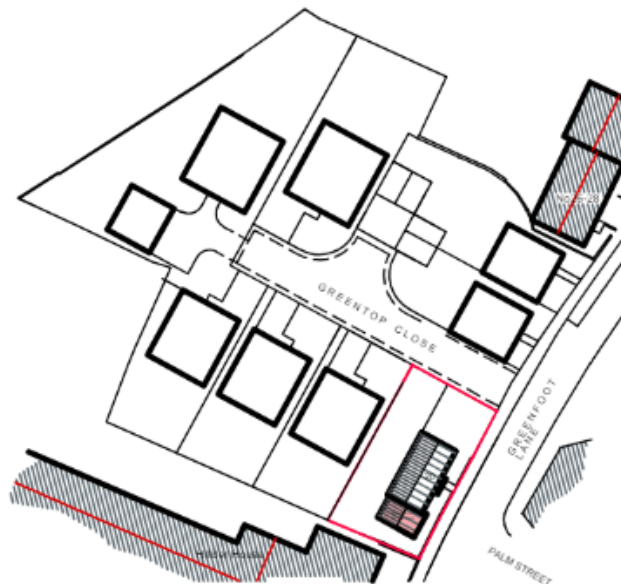
**Partial demolition of existing single storey side extension and erection of new extension to form larger single storey side extension and increase in height to part of front boundary wall (Amended Description).**

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### Site Description

The application relates to a plot located on the south side of Greenfoot Lane and in an area that is characterised by a mix of uses, including other residential dwellings, a residential care home, offices, a primary school, and a hospital.

The property in question forms part of a modern estate and is a two-storey detached dwelling constructed of brick with a pitched roof with grey coloured roof tiles. The property features a single storey front gable projection, an existing single storey side extension and a flat roof box rear dormer window. The property is first accessed off Greenfoot Lane with access to a private driveway taken off Green Top Close to the north of the site. To the rear of the property is a modest garden. The site is bounded by a mix of brick walls and timber fencing and the topography of the area descends east-to-west and north-to-south.



## Planning History

There are several previous applications associated with this site. However, the most relevant and recent application is as follows:

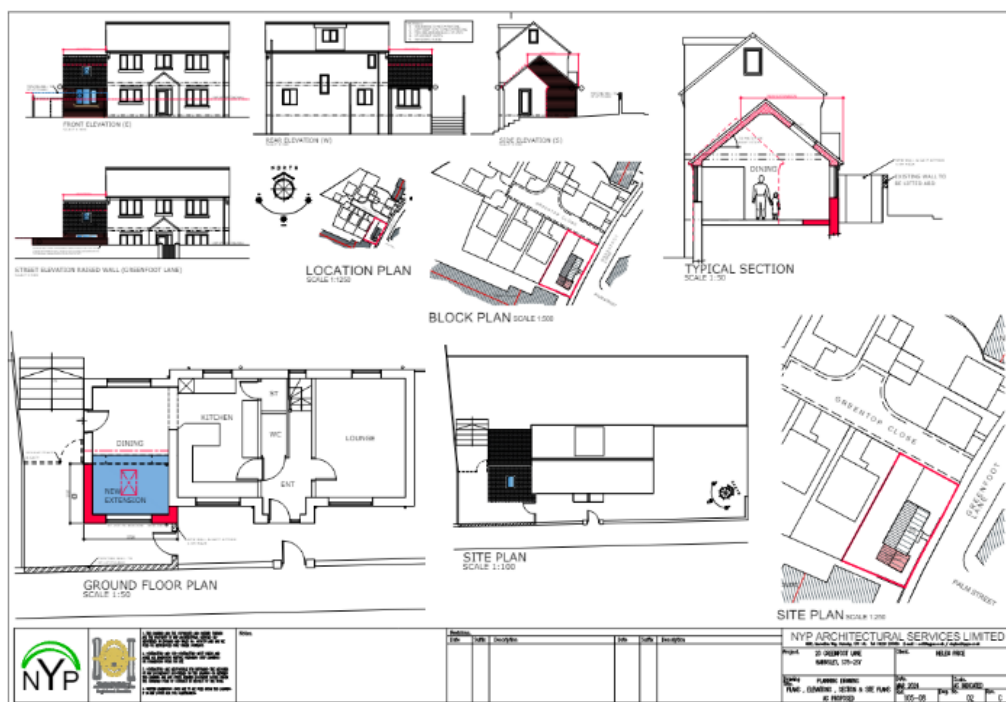
1. 2017/0970 – Variation of condition 2 of previously approved app 2016/1163 (Amendments to house types) - Erection of 8 houses. – Approved.

## Proposed Development

The applicant is seeking permission for the partial demolition of an existing single storey side extension, the erection of a new extension to form a larger single storey side extension, an increase in height to part of the existing east facing boundary wall, the removal of an existing fence and gate to the south of the application dwelling and the erection of a new wall and gate to the east of the application dwelling.

The proposed extension would have a depth of approximately 2.4 metres and would project beyond the main front wall of the application dwelling by approximately 0.7 metres. The proposed extension would adjoin the retained structure of the existing extension and would have a total depth of approximately 5.8 metres. The proposed extension would have a width of approximately 3.7 metres and would adopt a pitched roof with an approximate eaves and ridge height of 2.6 metres and 5 metres respectively. The proposed extension would be constructed of external materials that would match or be similar in appearance to those used in the exterior construction of the existing dwelling.

An approximate 6.1 metre section of the existing east facing boundary wall to the southern corner of the application site would be extended upwards by approximately 0.55 metres and would have a new height of approximately 1.9 metres. A new wall and gate approximately 1.7-metre-high would be erected immediately behind.



## Policy Context

Planning decisions should be made in accordance with the current development plan policies unless material considerations indicate otherwise; the National Planning Policy Framework (NPPF) does not change the statutory status of the development plan as the starting point for decision making. The Local Plan was adopted in January 2019 and is now accompanied by seven masterplan frameworks which apply to the largest site allocations (housing, employment, and mixed-use sites). In addition, the Council has adopted a series of Supplementary Planning Documents and Neighbourhood Plans which provide supporting guidance and specific local policies which are a material consideration in the decision-making process.

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027, or earlier, if circumstances require it.

### Local Plan Allocation – Urban Fabric

The site is allocated as urban fabric within the adopted Local Plan which has no specific allocation. Therefore, the following policies are relevant:

- ***Policy SD1: Presumption in favour of Sustainable Development.***
- ***Policy GD1: General Development.***
- ***Policy D1: High quality design and place making.***
- ***Policy T4: New Development and Transport Safety.***

### Supplementary Planning Document(s)

- ***House Extensions and Other Domestic Alterations.***
- ***Parking.***

### National Planning Policy Framework

The NPPF sets out the Government's planning policies and how these are expected to be applied. The core of this is a presumption in favour of sustainable development. Proposals that align with the Local Plan should be approved unless material considerations indicate otherwise. In respect of this application, relevant policies include:

- ***Section 12: Achieving well-designed and beautiful places.***

### Other Material Consideration

- ***South Yorkshire Residential Design Guide 2011.***

## Consultations

No consultees were consulted on this application.

## Representations

Neighbour notification letters were sent to surrounding properties. No representations were received.

## **Assessment**

### Principle of Development

Extensions and alterations to a domestic property are acceptable in principle provided that they remain subsidiary to the host dwelling, are of a scale and design which is appropriate to the host property and are not detrimental to the amenity afforded to adjacent properties, including visual amenity and highway safety.

### Visual Amenity

Proposals for extensions and alterations to a domestic property are considered acceptable provided that they do not significantly alter or detract from the character of the street scene and would sympathetically reflect the style and proportions of the existing dwelling.

The proposed extension would adopt a sympathetic form and features, including a modest scale, a pitched roof and external materials that would match or be similar in appearance to those used in the exterior construction of the existing dwelling. The proposed extension would slightly project beyond the main front wall of the application dwelling. However, this would match that of an existing front projection forming the front entrance doorway. Moreover, the proposed extension would be set below the ridge of the existing roof, set back from the rear elevation, and would not adopt an excessive sideways projection (more than two thirds the width of the original dwelling), in accordance with the House Extensions and Other Domestic Alterations SPD. As such, it is considered that the proposals would appear subservient and would not significantly alter or detract from the character of the existing dwelling or the wider street scene.

The proposals are therefore not considered to significantly alter or detract from the character of the street scene and are considered to comply with Local Plan Policy D1: High Quality Design and Placemaking and would be acceptable regarding visual amenity.

### Residential Amenity

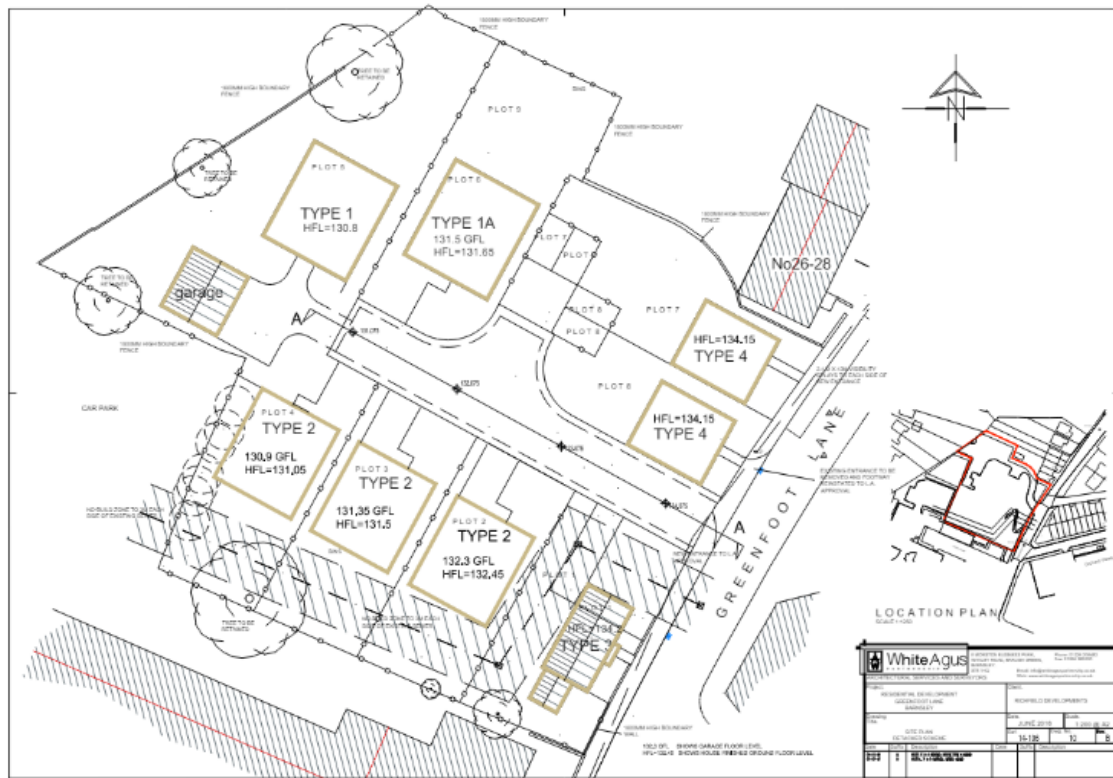
Proposals for extensions and alterations to a domestic property are considered acceptable provided that they would not adversely affect the amenity of neighbouring properties.

The proposed extension would be located to the north of an office building (Hilder House) and to the south-east of 1 Green Top Close. It is acknowledged that the proposals could contribute to some additional overshadowing. However, as the proposed extension would follow the form of the existing extension and would result in only relatively modest increases to scale, any potential impact is not considered to be significantly worse than that which could exist and be experienced. New glazing would be limited to the east facing (front) elevation and roof plane of the proposed extension and a sufficient separation distance (21 metres or more) would be maintained to the residential care home (Orchard Views) opposite. The proposed increase in height to the east facing boundary wall could offer further mitigation lessening the extent of any potential impact.

The proposal is therefore not considered to result in significantly increased levels of overshadowing, overlooking or reduced levels of outlook and is considered to comply with *Local Plan Policy GD1: General Development* and would be acceptable regarding residential amenity.

## Highway Safety

The proposals would not impede existing parking arrangements to the north side of the application dwelling which are sufficient to accommodate a minimum of two off-street parking spaces, in accordance with the parking SPD, and although part of the existing east facing boundary wall would be extended upwards, existing visibility splays at the junction of Green Top Close with Greenfoot Lane are unlikely to be significantly impacted. Moreover, the site plan (14-106-10-B) approved under planning application 2017/0970 shows a wall to the front of plot 1 of 1.8 metres high. Whilst this is less than the height (approximately 1.9 metres) proposed, the difference is negligible. As such, it is considered that highway safety would be maintained to a reasonable degree.



The proposal is therefore considered to comply with *Local Plan Policy T4: New Development and Transport Safety* and would be acceptable regarding highway safety.

**Recommendation -  
Approve with Conditions**