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The Beeches, Thurgoland Rear House Extension Heritage Impact Assessment.

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Ref:	GEN010
Ver:	1
IMS	01/12/2025

Contents

1. Introduction & Limitations	4
1.1 Background:	4
1.2 Limitations:	5
2. Assessment Methodology	5
3. Plan of Site - Existing	7
4. History and Development.....	8
5. Context and Setting	17
6. Assessment of Significance	24
7. Heritage Impact Assessment.....	28
7.1 Introduction & Background	28
7.2 Description of Proposals.....	29
7.3 Heritage Impact Assessment of Holy Trinity Church, Thurgoland	32
8. Compliance with BMBC policy and NPPF.....	38
9. Justification	40
10. Bibliography	42

1. Introduction & Limitations

Meridian Architecture was commissioned in September 2025 to prepare a Heritage Statement in relation to a proposed extension to The Beeches, a dwelling house on a site adjacent to Holy Trinity Church, Thurgoland in Barnsley / Sheffield. Holy Trinity Church is of sufficient special architectural and historical interest to have been statutorily listed at grade II in 1991. Proposals to The Beeches include the demolition of a later rear extension, and the development of a two-storey rear extension to increase the floor area of the residential accommodation. The Beeches (1979) does not have any heritage significance and is not a listed building. The exact location of the Holy Trinity Church site can be found at National Grid Reference SE 28865 01101. The local planning authority is Barnsley Metropolitan Barnsley Council.

As required by the National Planning Policy Framework (NPPF), as revised and published in December 2024, applications concerning proposals affecting a designated heritage asset must be accompanied by a statement that describes: -

The significance of any heritage asset affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance. As a minimum the relevant historic environment record should have been consulted and the heritage assets assessed using appropriate expertise where necessary (para. 207).

This report is based on a site inspection undertaken on 26th Sept and 20th Dec 2025 and has been provided by David Houltyby of Meridian.

1.1 Background:

A pre-application for the proposed extension to The Beeches was submitted to Barnsley Metropolitan Barnsley Council in August 2024, and the pre-application response was received in November 2024. Some revisions have since been made to the proposed extension, and subsequent discussions with the Local Planning Authority did not raise any further comments.

Ref:	GEN010
Ver:	1
IMS	01/12/2025

1.2 Limitations:

The churchyard has an extensive number of sycamore trees, and the site was overgrown with vegetation in places. Whilst general access to the church building was provided, there was no artificial lighting available, and images relied on either flash photography or limited amounts of natural daylight.

2. Assessment Methodology

This methodology is based upon advice set out in Conservation Principles 2008. Significance derives from several factors including:

- Understanding the evolution of a place through both research and physical evidence.
- Relate identified heritage values to the fabric of the place – identifying how particular parts of a place and different periods in its evolution contribute to or detract from heritage values.
- Consider the contribution made by setting and context to the appreciation of the listed building (s).

Assigning grades of significance can sometimes assist assessments of significance, however, it must be remembered that many heritage assets have developed over time and that not every feature is necessarily original. This may mean that later features do not have the same level of significance, but a lower level of significance does not necessarily mean that a feature or element could be altered or removed. For example, a plain but intact fire surround of a later date than the original construction of a house might not hold the same level of significance as an original fire surround, but it may contribute greatly to the room as a whole or may be representative of later development of the building. Similarly, a setting can be difficult to define on a map because the setting may be far-reaching and may be enjoyed in ways that maps cannot define.

Ref:	GEN010
Ver:	1
IMS	01/12/2025

Exceptional significance	An element, feature, or grade of asset of more than national interest (e.g., a rare wall painting, grade I or II* listed building or its setting) or is indicative of its original features, plan form, layout or gives evidence of historic development. Compares directly with its counterparts in other listed buildings of the same age / type
High significance	An element, feature, or grade of asset of national interest (e.g., a grade II listed building or its setting, conservation area or its setting and townscape values) or is indicative of its original features, plan form, layout or gives evidence of historic development. Compares directly with its counterparts in other listed buildings of the same age / type or other conservation areas.
Moderate Significance	A building or area of architectural or historic interest, or its setting, but not of sufficient merit to warrant being added to the national list of buildings of special architectural and historic interest., or a historic feature or element of a listed building which may not be original but nevertheless contribute to significance of the special architectural interest of the building/conservation area and/or its setting.
Low significance	A feature or element that makes a low or minimal contribution to the special architectural interest of the asset or its setting.
Neutral	A feature or element Insufficient to cause harm to or detract from any significance
Damage / Intrusion	Features or alterations that have removed earlier features of significance, or where original features have been removed in entirety or where a modern intervention detracts from the original building / or its setting (e.g., subdivision of an original room plan, or a poor-quality modern development in a conservation area).
How this assessment has been undertaken: A combination of site inspection, documentary sources and stylistic dating of architectural features have been used to understand the building in its own right, as a building type (internal and external in the case of listed buildings). Group value and setting have also been considered. Significance is assigned in whole and in parts based on the above grading system.	

Ref:	GEN010
Ver:	1
IMS	01/12/2025

3. Plan of Site - Existing



Ref:	GEN010
Ver:	1
IMS	01/12/2025

4. History and Development

In the Domesday book (1086) the village of Thurgoland was listed as 'Turgesland', which is a Saxon name that meant land dedicated to their deity Thor. The name has evolved since with a few variations that include 'Thurg'lond' (1259) and 'Thunkerland' (1316) until the name Thurgoland was finally adopted in 1549. The village was an important centre for early iron-making and wire-drawing industries from the 17th century. The site on which Holy Trinity Church sits was undeveloped pastureland until 1843 when the site was given by Lord Wharnclyffe for an earlier church that was designed by Hurst and Moffatt. By 1870, this church building was in a poor state of decay, and it was decided that the church would be rebuilt following the redesign by renowned Victorian architect G. E. Street into the form we see today. Later alterations to Holy Trinity Church were made in 1932 by Sir Charles Nicholson, which included the addition of the East Vestry, and in 2025 the church was extended adjacent to the South Aisle to provide WC facilities. Holy Trinity Church was statutorily listed at grade II in 1991.

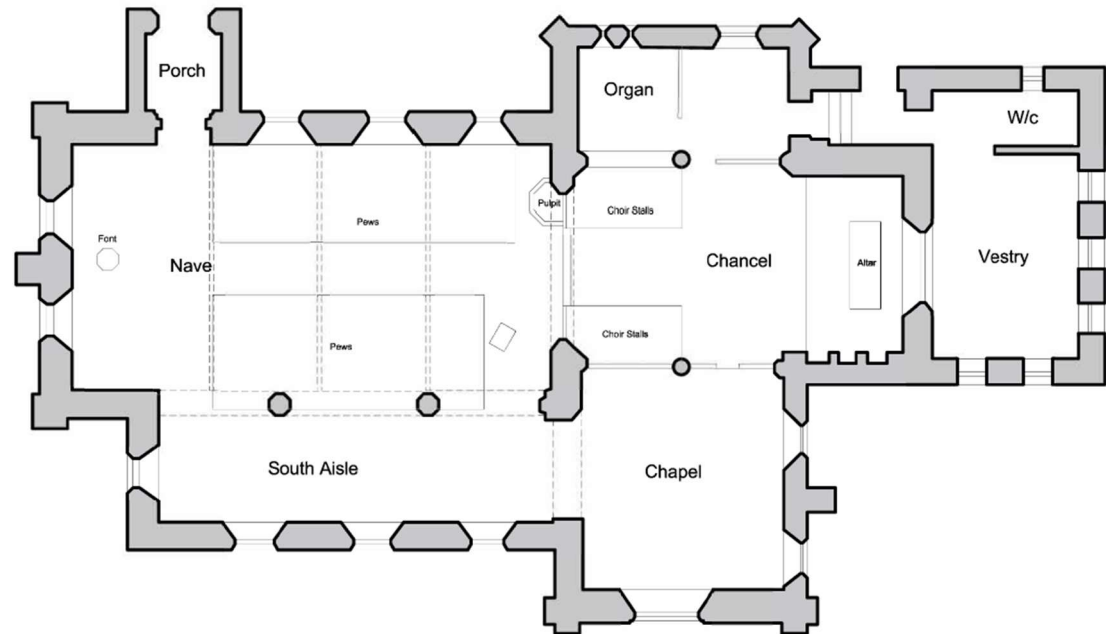
In 1978 the land between Holy Trinity Church and the Vicarage, formerly the church garden and orchard, was sold by the Diocese of Wakefield for residential development, following the '1976 Endowments & Glebe Measure'. This measure was passed by the General Synod of the Church of England, which transferred historic parish land to Diocesan Boards of Finance for centralised management and income that led to the sale of redundant and valuable development land.

'The Beeches', a four bedroom dwellinghouse, was built in 1979 to the west boundary of Holy Trinity Churchyard by Mr & Mrs Cable following their purchase of the land the previous year. The neighbouring house 'Stanwood' (another four bedroom property) was also built at approximately the same time on the former church gardens / orchard, following the sale of the land by the Diocese of Wakefield. Both houses were constructed of locally sourced random-coursed sandstone and plain grey roof tiles, and remain the same today.

Ref:	GEN010
Ver:	1
IMS	01/12/2025



*Fig 1. Holy Trinity Church
(North-West Elevation) 1955.
Source – Past Times in Thurgoland*



*Fig 2. Holy Trinity Church - Plan Layout (2022).
Source – Crooks Architecture. QI Report 2022.*

Ref:	GEN010
Ver:	1
IMS	01/12/2025



*Fig 3. Holy Trinity Church, North Elevation (1955).
Source – Past Times in Thurgoland*

Ref:	GEN010
Ver:	1
IMS	01/12/2025



Fig 4. 1837 OS Map (National Library of Scotland)

The map shows undeveloped pastureland to the site that would be acquired later in the century for the development of Holy Trinity Church

Ref:	GEN010
Ver:	1
IMS	01/12/2025

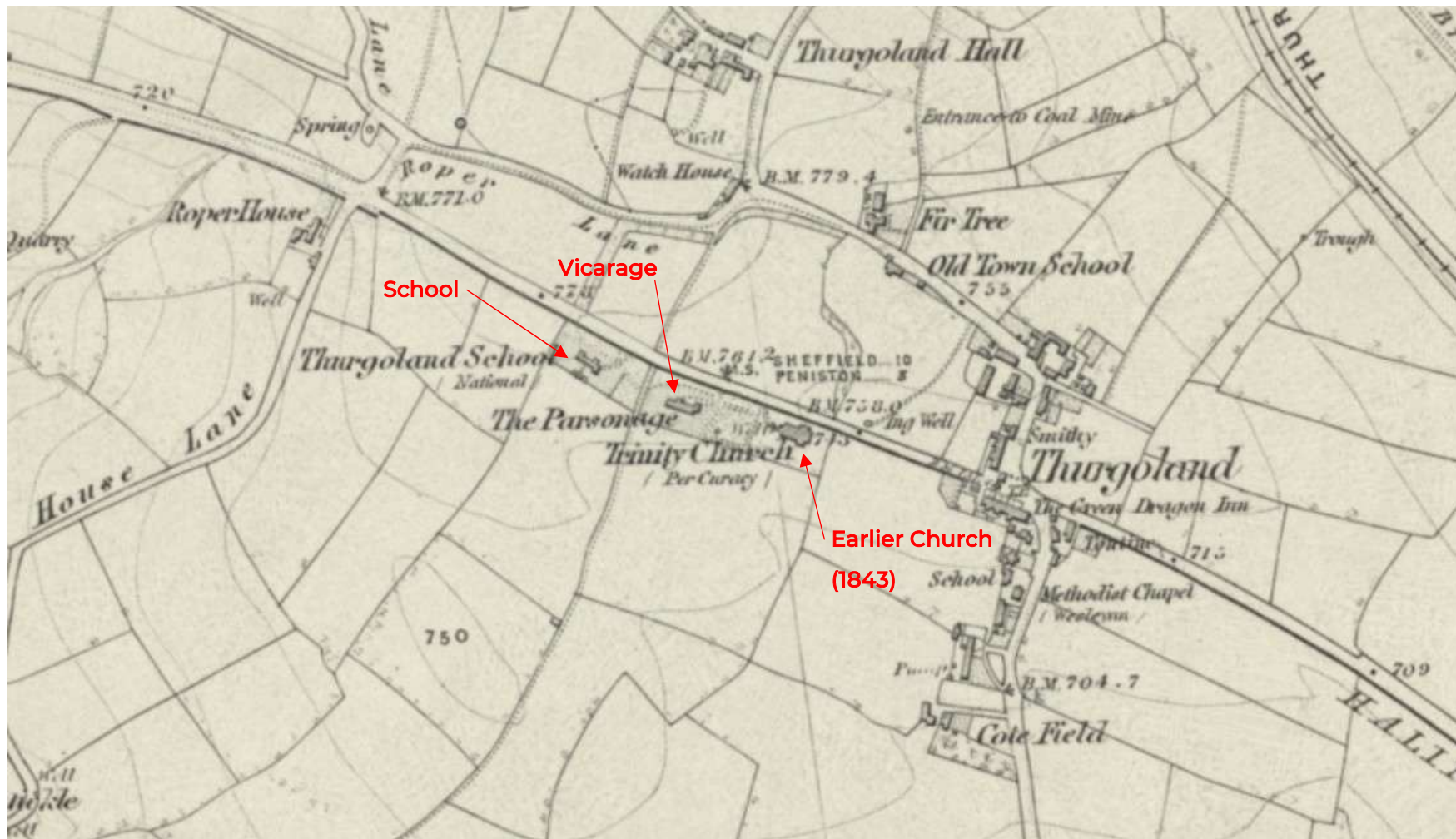


Fig 5. 1850 OS Map (National Library of Scotland)

The map shows the development of the Church, the Vicarage (then Parsonage), and the school following the acquisition of the land in 1843 from Lord Wharnccliffe. The school would have been under the control of the C of E prior to the Education Act 1870.

Ref:	GEN010
Ver:	1
IMS	01/12/2025

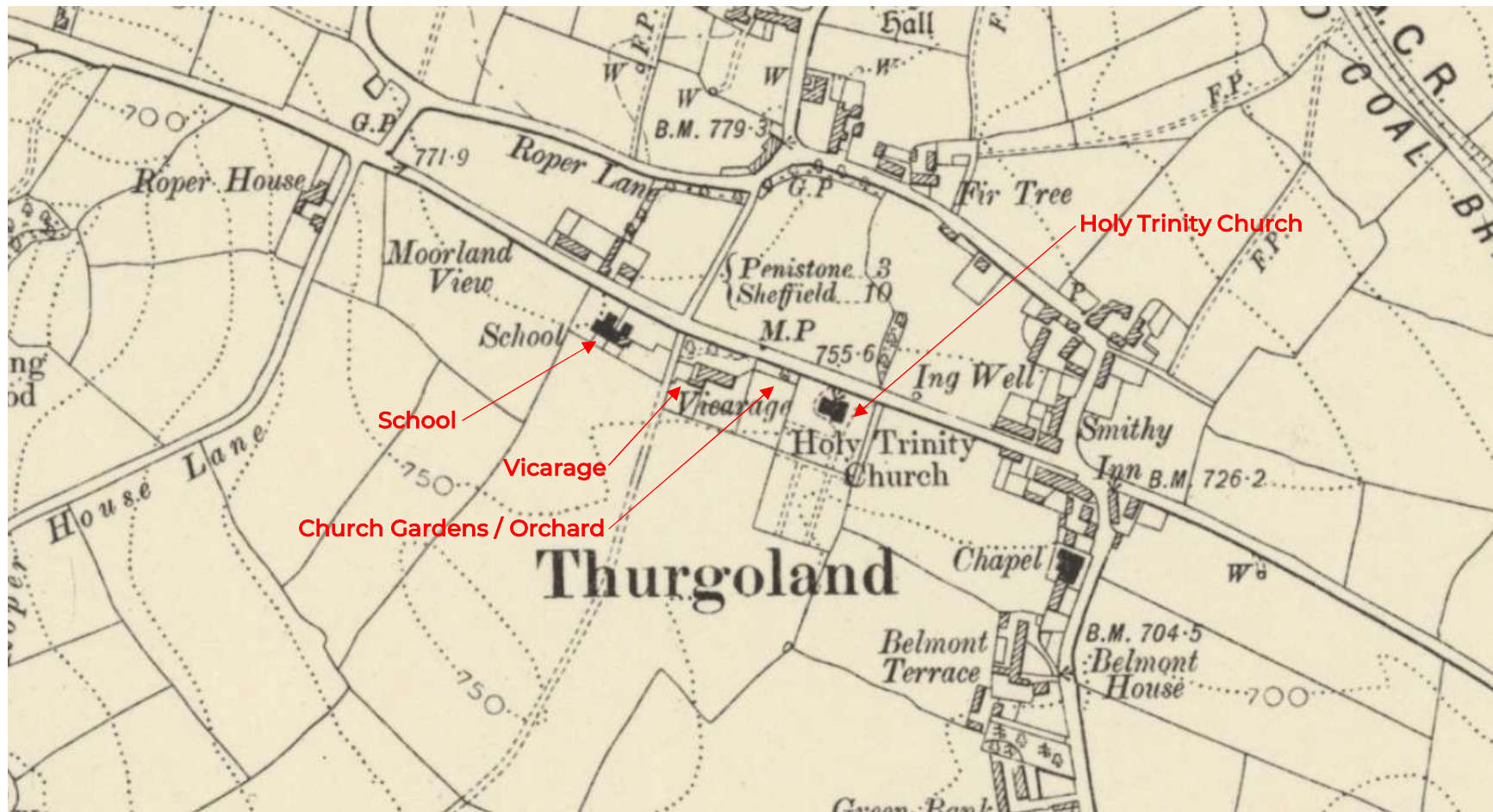
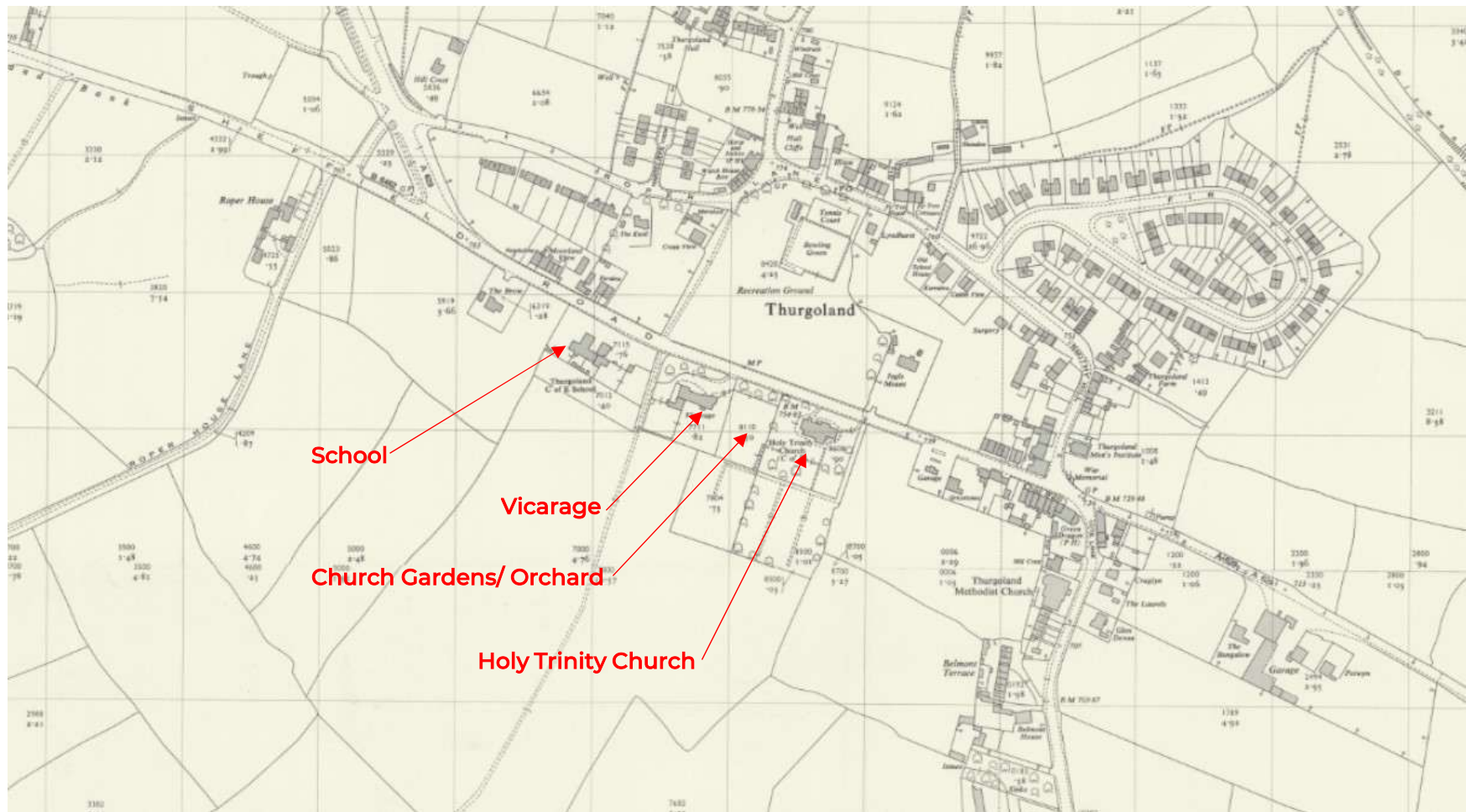


Fig 6. 1903 OS Map (National Library of Scotland)
 The map shows the graveyard was extended and the boundaries to the Church, Vicarage and School are clearly defined. The church had been redesigned by G. E. Street in 1870, and the gardens/orchard between the church and vicarage remain undeveloped.

Ref:	GEN010
Ver:	1
IMS	01/12/2025



*Fig 7. 1959 OS Map (National Library of Scotland)
 The map shows the church graveyard extended further to the west, and the gardens / orchard between the church and vicarage remain undeveloped. Residential development in the village has substantially increased.*

Ref:	GEN010
Ver:	1
IMS	01/12/2025

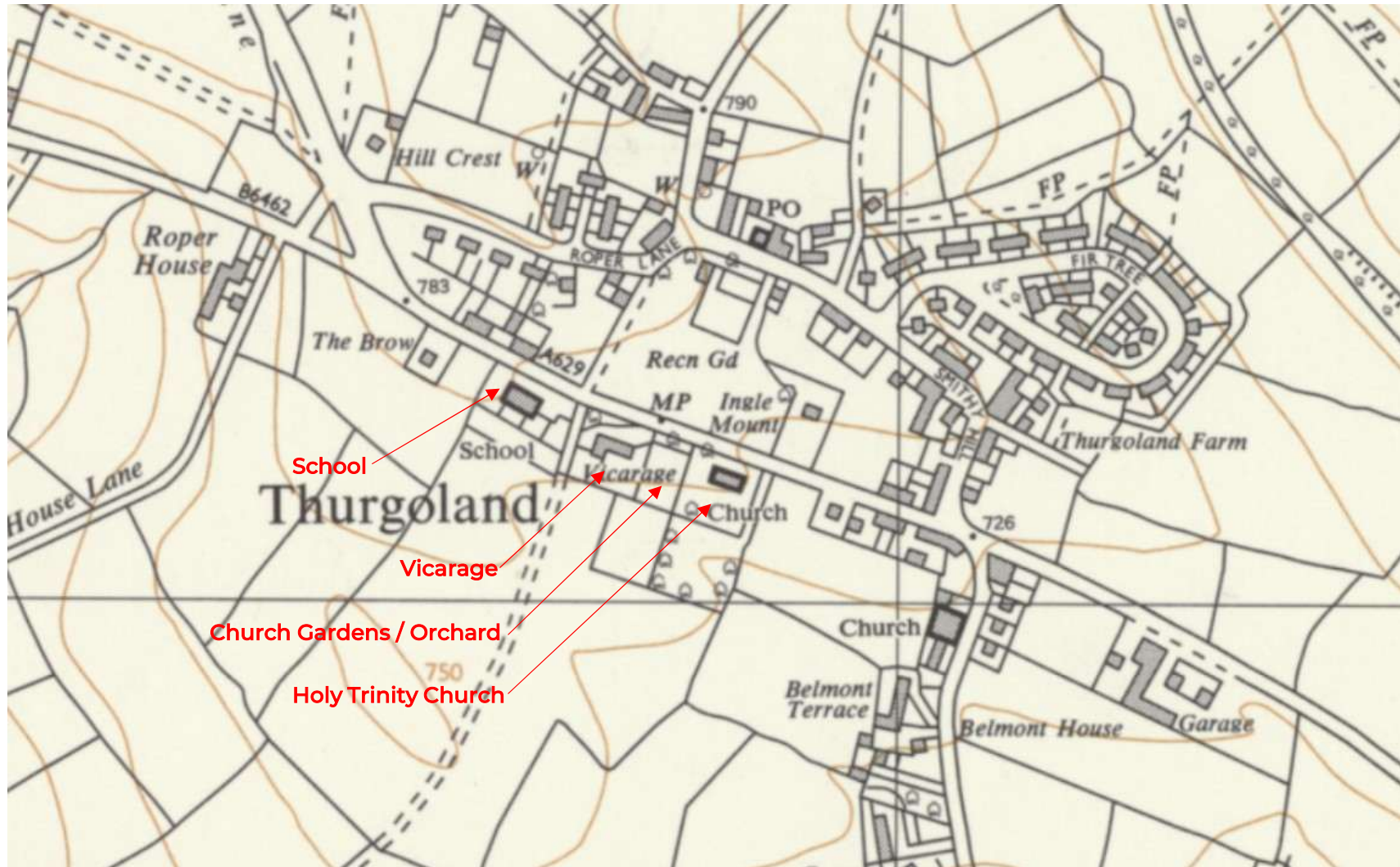


Fig 8. 1965 OS Map (National Library of Scotland)

The map shows no change in relation to Holy Trinity Church and the adjacent gardens / orchard that remain undeveloped. Thurgoland is now established as a semi-rural residential village, and was still part of the West Riding of Yorkshire (until 1974 when it became part of BMBC)

Ref:	GEN010
Ver:	1
IMS	01/12/2025

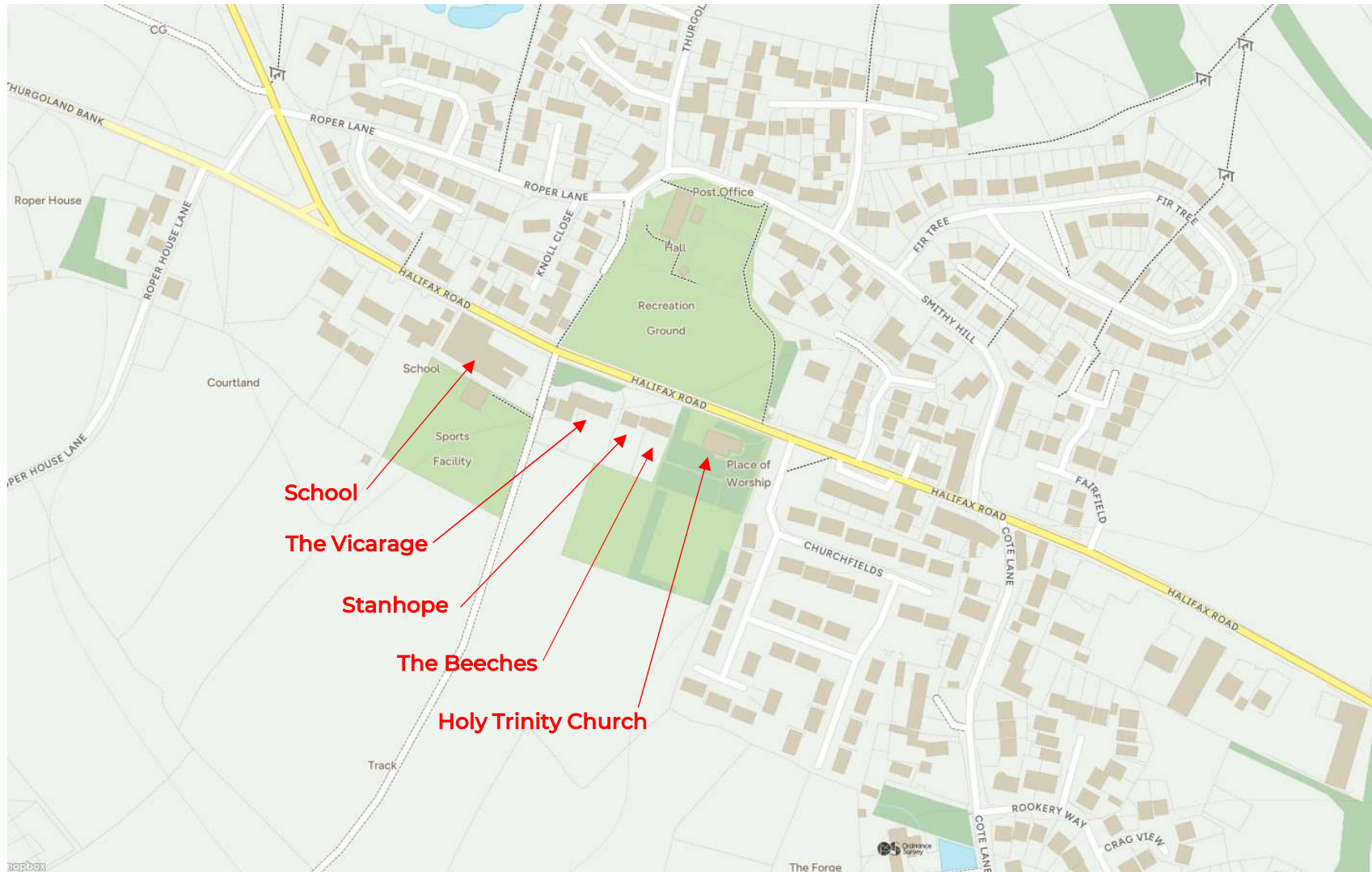


Fig 9. 2025 OS Map (Explore.osmmaps.com)

The map shows the development of two houses 'The Beeches' and 'Stanhope' that were constructed in 1979, following the sale of the church gardens / orchard in 1976 by the Diocese of Wakefield. Holy Trinity Church and the graveyard arrangement remain unchanged.

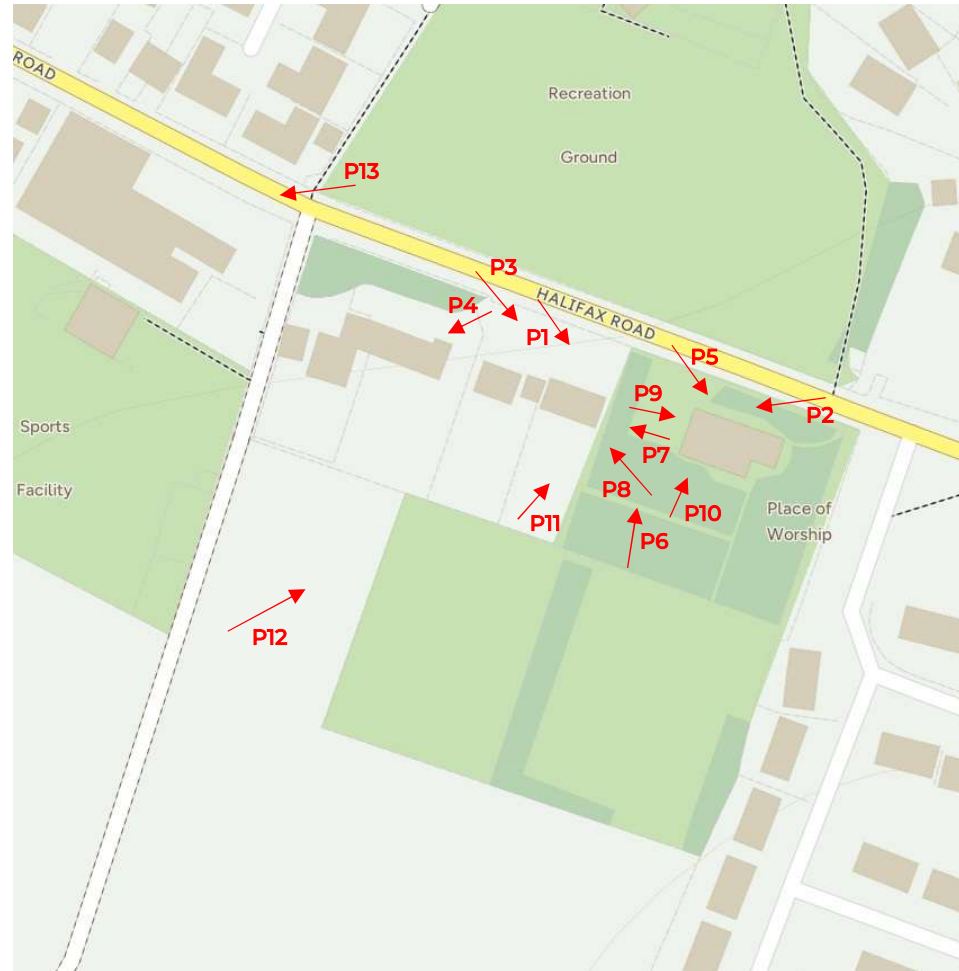
Ref:	GEN010
Ver:	1
IMS	01/12/2025

Holy Trinity Church that we see now was built in 1870 and was designed by G. E. Street, with later additions in 1932 by Sir Charles Nicholson. The earlier church on the same site that was built in 1843 formed part of a triad of buildings, which also included the Vicarage and the school. This development was part of a broader expansion of church buildings by the Church of England across the UK, often with funding from the Ecclesiastical Commissioners for England, with voluntary donations and philanthropy. National schools at this time were run by the Anglican charity the 'National Society for Promoting the Education of the Poor', prior to the Elementary Education Act of 1870 (state system).

The architectural form of the original 1943 church was completely redesigned in 1870 in the gothic revival style, there have been substantial interventions to the school and Vicarage, with considerable residential development in the late 20C. Consequently, whilst significant aspects of the original triad group of buildings remain in-situ, it would be challenging for the lay-person to visually read this collection of buildings as a whole. Nevertheless, the triad of buildings as a complex remains and still retains the original use as a church, residence and school, under separate ownership.

Ref:	GEN010
Ver:	1
IMS	01/12/2025

5. Context and Setting



Key Plan showing Holy Trinity Church, The Beeches and adj. buildings.
Source: 2025 OS Map (Explore.osmaps.com)



Ref:	GEN010
Ver:	1
IMS	01/12/2025

*P1 – Looking from NW towards Holy Trinity Church and The Beeches.
Source: Photo taken on-site by author on 20.12.25.*



Ref:	GEN010
Ver:	1
IMS	01/12/2025

*P2 – Looking from NE towards Holy Trinity Church from Halifax Rd.
Source: Photo taken on-site by author on 20.12.25.*



Ref:	GEN010
Ver:	1
IMS	01/12/2025

*P3 – Looking from NW towards the Holy Trinity, The Beeches and Stanhope.
Source: Photo taken on-site by author on 20.12.25.*

*P4 – Looking from NE towards the Vicarage.
Source: Photo taken on-site by author on 20.12.25.*



*P5 – Looking from north towards Holy Trinity Church.
Source: Photo taken on-site by author on 20.12.25.*



*P6 – Looking from SE towards Churchyard,
Source: Photo taken on-site by author on 20.12.25.*



*P7 – Looking from east towards The Beeches.
Source: Photo taken on-site by author on 20.12.25.*

Ref:	GEN010
Ver:	1
IMS	01/12/2025

*P8 – Looking from SE towards The Beeches.
Source: Photo taken on-site by author on 20.12.25.*



*P9 – Looking from west towards Holy Trinity.
Source: Photo taken on-site by author on 20.12.25.*



*P10 – Looking from south towards Holy Trinity.
Source: Photo taken on-site by author on 20.12.25.*



*P11 – Looking from SW towards The Beeches and Holy Trinity.
Source: Photo taken on-site by author on 20.12.25.*

Ref:	GEN010
Ver:	1
IMS	01/12/2025



*P12 – Looking from SW towards Holy Trinity, The Beeches, Stanhope and the Vicarage.
Source: Photo taken on-site by author on 20.12.25.*

*P13 – Looking from NE towards Thurgoland Primary School.
Source: Photo taken on-site by author on 20.12.25.*



Ref:	GEN010
Ver:	1
IMS	01/12/2025

6. Assessment of Significance

Historic buildings are assessed for their significance, based on a sound understanding of their heritage values that are ascertained through a physical / visual inspection of the fabric of the building and its features, and from research and other dating evidence. The 2008 publication 'Conservation Principles, Policies and Guidance' by Historic England (formerly English Heritage) suggest that heritage values fall in to four groups, which include *Aesthetic Value, Communal Value, Evidential Value, and Historical Value* (a wider range of heritage values may be included as all historic buildings hold their own unique narrative). The significance of a place / heritage asset is the sum of its cultural and heritage values, and this is set out in the assessment of significance.

The setting of a listed building is equally important. Settings are assessed and assigned a level of significance. The setting of a heritage asset is defined by the NPPF as: -

'The surroundings in which a heritage asset is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance or may be neutral.' (NPPF, December 2024, page 78).

Equally, group values are also considered and assigned a level of significance. The site of Holy Trinity Church (1870) that we currently know proceeded the original church (1843) that was part of a group of buildings ran by the Anglican church, which included the church, Vicarage, and National School, and these buildings formed an ensemble when viewed from A629 Halifax Road (then known as Halifax to Sheffield Turnpike). Though the church was redesigned in 1870, the Vicarage and school has undergone significant intervention/ adaptation, and the late 20C residential development on the original site, the buildings remain overlooking the same rural landscape and farmland. Group value is one of the statutory criteria considered by the DCMS when deciding to list a building, defined as:

'The extent to which the exterior of the building contributes to the architectural or historic interest of any group of buildings of which it forms part, generally known as group value. The Secretary of State will take this into account particularly where buildings

Ref:	GEN010
Ver:	1
IMS	01/12/2025

comprise an important architectural or historic unity or a fine example of planning (e.g. squares, terraces or model villages) or where there is a historical functional relationship between the buildings. Sometimes group value will be achieved through a co-location of diverse buildings of different types and dates.’ (Guidance Principles of selection for Listed Building, DCMS, updated 30 January 2025).

The following table sets out the significance, internal and external where appropriate, setting and group values.

Date of Construction	1870 with additions in 1932, according to the official list description.
Architect or Designer	<p>George Edmund Street (later alterations by Sir Charles Nicholson).</p> <p>He was diocesan architect to York, Winchester and Ripon (and Thurgoland was part of the Diocese of Ripon in 1870).</p> <p>Holy Trinity Church was designed by G. E. Street, a leading Victorian Gothic Revival architect who had a significant influence on the Arts and Crafts movement. He was the diocesan architect for Oxford, York, Winchester and Ripon, and there is a large concentration of his work in these regions. His famous church designs include St Mary Magdalene in London, St James the Less in London, St Philip and St James in North Oxford, and St Paul's Within the Walls in Rome. However, he is perhaps best known as the designer of the Royal Courts of Justice on the Strand in London. It is said by the Victorian Society that G. E. Street was beyond doubt one of the greatest architects of the 19th century, not just in Britain, but in Europe.</p>

Ref:	GEN010
Ver:	1
IMS	01/12/2025

Official List Description	<p>Parish Church. 1870, additions 1932. Designed by G.E. Street with alterations by Sir Charles Nicholson. Nave with south aisle and north porch, chancel has south transept and north organ chamber and vestry. Ashlar with ashlar dressings and slate roofs with ashlar coped gables. Chamfered plinth, shallow buttresses. West front has central stepped buttress with flanking single 2 light lancets with geometrical tracery and transoms. Above the gable has a bellcote. North front has projecting gabled porch with pointed opening and to the left 3 tall plate tracery 2 light pointed windows. Beyond a projecting double gabled organ chamber, that to the right with 2 lancets, that to the left with a large cross-mullion window and behind a tall stack with set-offs. Beyond a low flat roofed, single storey, vestry addition. Chancel east wall has a 3 light tracery with hood mould. Projecting south transept has to east 2 circular windows with asped tracery. South wall has a single pointed arched opening containing 3 graduated lancets. South aisle has 3 pairs of small lancets, and to the east a taller 2 light window. INTERIOR. Has 3 bay south arcade with pointed chamfered arches and circular piers. A double chamfered, pointed chancel arch, and 2 bay chancel arcades on eitherside, chancel has low stone screen and tall wooden side screens. Blind arcading and reredos to chancel east wall, and to south a piscina and sedilia. Bronze and iron altar rail, contemporary choir stalls and-pews. Fine stone pulpit with black marble shafts, and fine bowl and stem front, with a row of lancets and 3 rows of roses, both typical of Street. Contemporary wooden roofs.</p>
Grade Listing Designation	Grade II listed, first listed on 20 th August 1991.
Assessment of Significance	<p>Holy Trinity Church in Thurgoland has a high aesthetic, historic, evidential and communal value, and is therefore of high significance for the following reasons:</p> <ol style="list-style-type: none"> a. Being of sufficient architectural and historic merit to warrant listing at grade II in its own right. b. Being designed by G. E. Street, a prominent 19th century Victorian Gothic Revival Architect with extensive ecclesiastical and secular work throughout England. c. An excellent example of a Gothic Victorian parish church building. d. For creating a very distinctive announcement on Halifax Road, having entered the village, and its contribution to the local street scene. e. Forming a key element of the setting of the church complex historically (church, vicarage and school) initially build for the Church of England in 1843.

Ref:	GEN010
Ver:	1
IMS	01/12/2025

	f. For its symbolic importance to the community as a place of worship and community engagement, which provides a sense of place and cultural identity.
Group Values	Medium significance – In 1843 the church formed a key element of the overall design composition of the church complex in Thurgoland that included the church, parsonage and the national school. However, the church was redesigned in 1870 by G. E. Street in the Victorian Gothic style and was totally rebuilt, the school was significantly extended in the mid-20C (concealing the original form), interventions to the Vicarage are evident, and two dwellinghouses were built on the church gardens / orchard. Therefore, the aesthetic visual impact as an ensemble group of buildings has been substantially compromised. Nevertheless, all three buildings (as of 1870) still remain overlooking the greenbelt farmland of Thurgoland and form a historical triangulation dating back to an important period of church building throughout the UK.



*Fig 10. Holy Trinity Church, North Elevation (1955).
Source – Past Times in Thurgoland*



*Fig 11. – Holy Trinity Church, North Elevation (2025)
Source: Photo taken on-site by author on 20.12.25.*

Ref:	GEN010
Ver:	1
IMS	01/12/2025

7. Heritage Impact Assessment

7.1 Introduction & Background

To fully understand the impact of development proposals on heritage significance, it is first necessary to have a full understanding of the site and to document any significance. The Statement of Heritage Significance (please see history, development, context and assessment of significance in previous sections of this document), was produced following a site visit on 26th Sept and 20th Dec 2025, documentary research, and assessment of the affected designated heritage assets as buildings or structures in their own right, and with full consideration to the setting of other buildings, and group values.

This heritage impact assessment has been produced following:

- a. Site visit to undertake a visual inspection and an external photographic survey of Holy Trinity Church, and site juxtaposition with The Beeches dwellinghouse / adjacent buildings, whilst focusing on the south elevation of the proposed dwellinghouse extension and the areas of the church that will be impacted.
- b. The provision of heritage design advice based on the findings of the Statement of Heritage Significance to remove or reduce harmful impacts.
- c. Full review of the design proposals for the two-storey extension to the dwellinghouse (The Beeches).

The scheme of development proposals was assessed in Sept / October 2025, and this has been further reviewed by David Houlby who completed the heritage impact assessment report on the 27th December 2025.

This report does not include an assessment of below-ground archaeology.

Ref:	GEN010
Ver:	1
IMS	01/12/2025

7.2 Description of Proposals

Single-storey and two-storey extension to rear of The Beeches, and paved patio to rear of property.

Proposed works / development to The Beeches, Halifax Road, Thurgoland, includes:

- Demolition of 1980's rear single-storey 2.5x2.5 metre extension to South-West of building.
- Removal of rear balcony and supporting columns serving the first-floor bedroom.
- Construction of single-storey and two-storey extension to rear of property (south elevation) to provide ground-floor open-plan kitchen/ dining and snug area, to provide utility room, to provide new side entrance, to increase floor area of first-floor bedroom, and to provide enclosed first-floor balcony.
- Replacement of external rainwater goods – guttering, hoppers, downpipes (from white uPVC to black heritage profile uPVC).
- Installation of new external drainage (currently surface rainwater discharges on to grass / soft landscaping to rear garden).
- Build new patio to proposed rear extension, utilising the existing York stone flags to existing patio. This will require a retaining wall with balustrade and handrail.

Detailed drawings and specifications have been assessment by Meridian Architecture in September 2025 and include:

Drawing Reference No. 24001-MAD-S1-00-DR-A-00001_P02 – Location & Block Plan.

Drawing Reference No. 24001-MAD-Z1-ZZ-DR-A-01001_P02 – Existing GA Plans.

Drawing Reference No. 24001-MAD-Z1-ZZ-DR-A-01002_P02 – Existing GA Elevations.

Drawing Reference No. 24001-MAD-Z1-ZZ-DR-A-03001_P03 – Proposed GA Plans.

Drawing Reference No. 24001-MAD-Z1-ZZ-DR-A-03002_P03 – Proposed GA Elevations.

Drawing Reference No. 24001-MAD-S1-00-DR-A-52001_P02 – Existing and Proposed Drainage Plan Layout.

Drawing Reference No. 24001-MAD-S1-00-DR-A-00002_P02 – Proposed Site and Landscaping Plan.

Ref:	GEN010
Ver:	1
IMS	01/12/2025

Materials proposed for the new extension to The Beeches include:

- External Stone Walls - Random coursed (carboniferous) sandstone with tooled finish to match existing.
- Sandstone Window / Door Surround / Stone Quoins – Dressed Sandstone (carboniferous).
- Mortar Pointing - Light grey, lime-based flush mortar pointing with stippled (stiff brush) finish. Ratio specification - 1:1:1.5 (1 part lime, 1 part silver sand or pale sharp washed sand, and 1.5 parts grey crushed stone / grit), or pre-mixed coloured NHL 3.5 light grey.
- Roof Tiles – Plain grey concrete roof tiles to match existing.
- Roofing Flashings – Code 4 lead flashings (with patination oil for visible flashings).
- Roof Soffit / Fascia – uPVC black ash woodgrain fascia board, with uPVC cream white woodgrain soffit board.
- Guttering – Black Ogee guttering (100x75mm).
- Rainwater Downpipes – Black circular downpipes (75mm).
- Windows / Sliding Doors – Double glazed units, with anthracite grey (RAL 7016) matt finish frames.
- External Side Entrance Door – Cottage Half Glazed Composite Door in Oak finish.
- External Timber Truss & Porch Canopy – Oak truss / timberwork with Osmo UV Protection Oil Extra finish.
- Patio Paving – Stone flags to rear patio.
- Patio Balustrading – Frameless glazed balustrading to external patio (with toughened glass).

Ref:	GEN010
Ver:	1
IMS	01/12/2025

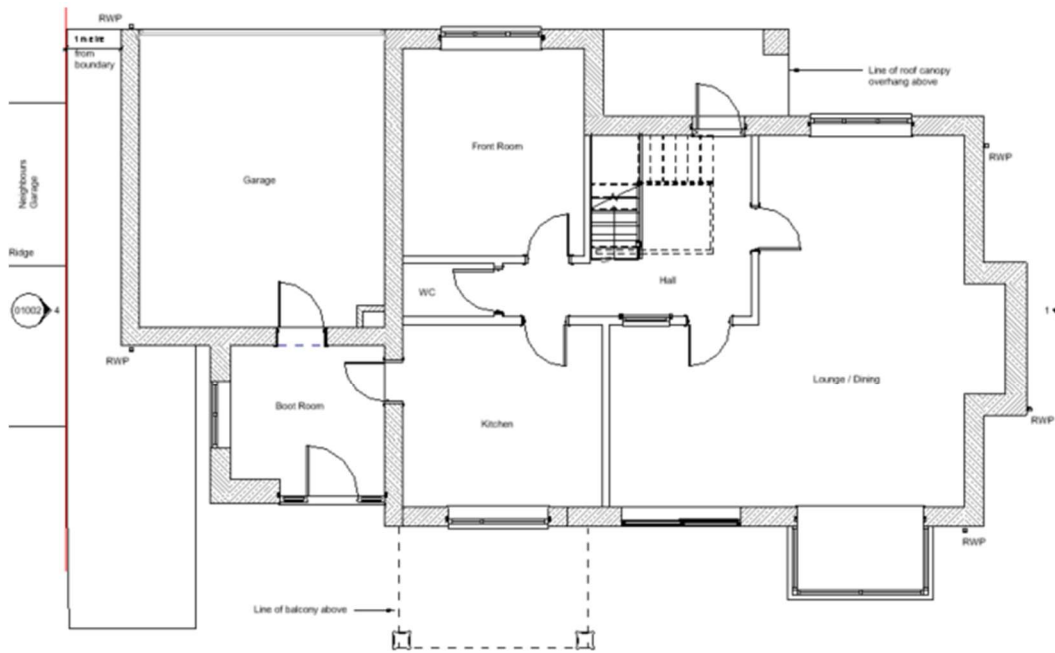


Fig 12. – The Beeches Existing GF Plan (N.T.S.)

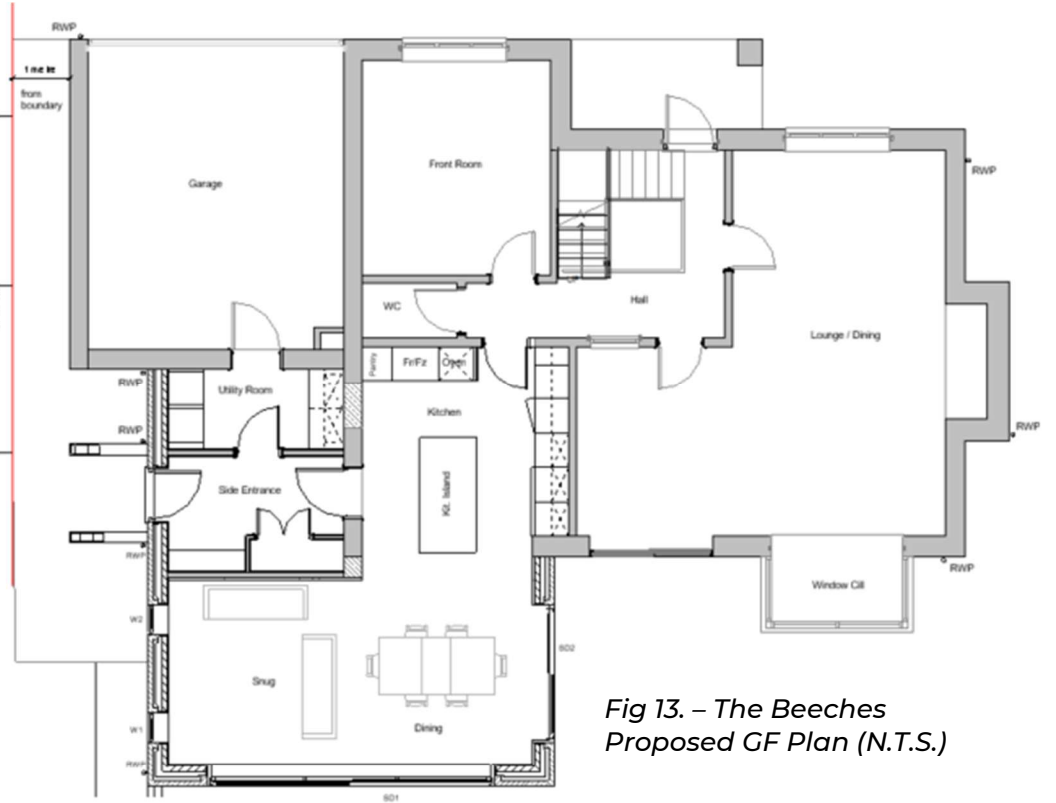


Fig 13. – The Beeches Proposed GF Plan (N.T.S.)



Fig 14. – The Beeches Existing Elevation (N.T.S.)



Fig 15. – The Beeches Proposed Elevation (N.T.S.)

Ver:	1
IMS	01/12/2025

7.3 Heritage Impact Assessment of Holy Trinity Church, Thurgoland

Using this assessment - A detailed assessment of significance can be found in the previous sections of this document and should be referred to for a full description of any assigned significance, and cross-reference needs to be made concerning significance.

Several best practice guidance notes are utilised for assessing the impact of proposed changes to heritage assets including:

- National Planning Policy Framework, Ministry of Housing, Communities & Local Government, Dec 2024.
- National Design Guide ‘Planning practice for beautiful, enduring and successful places’, Ministry of Housing, Communities and Local Government, Jan 2021.
- Historic Environment Good Practice Advice in Planning Note 1 ‘The Historic Environment in Local Plans’, Historic England, 2015.
- Historic Environment Good Practice Advice in Planning Note 2 ‘Managing Significance in Decision-Taking in the Historic Environment’, Historic England, 2015.
- Historic Environment Good Practice Advice in Planning Note 3 ‘The Setting of Heritage Assets’, Historic England, 2nd Ed. 2017.

Significance	
The Grade II listed Holy Trinity Church in Thurgoland is a building of high significance owing to its high aesthetic, historic, and evidential value, and has medium to low group value as it once formed a key building of Thurgoland’s former church complex (church, parsonage and national school).	
The Beeches, the dwellinghouse adjacent to Holy Trinity to which the proposed works relate is not a designated or non-designated heritage asset.	
Proposed Works	The proposed house extension to The Beeches is approx. 10 metres from the church yard boundary, and approx. 30 metres from the church building. The proposed works consists of the careful removal of the 1980’s (2.5x2.5m) single-storey rear extension and rear first-floor balcony, and the new construction of a combined single-storey and two-storey extension to the rear of the property (south facing) using external materials that match the existing materials to the house (stonework and roof tiles).

Ref:	GEN010
Ver:	1
IMS	01/12/2025

	<p>The proposed works also includes the installation of an external oak kingpost truss to the first-floor enclosed balcony to the rear elevation, and an external oak truss to the side entrance canopy. In addition, the proposals include new localised drainage, replacement of rainwater goods to the rear elevation, and a new patio area utilising the existing York stone flags.</p> <p>The use of vernacular building materials and good workmanship is fundamental to the design proposals that will complement the external building fabric of The Beeches and Holy Trinity Church, within the context and setting of the historic and semi-rural environment of the buildings.</p>
<p>Potential for Mitigating Harm</p>	<p>Although there are no proposed interventions to the historic building fabric of Holy Trinity Church or works within the curtilage of the churchyard site, The Beeches is the neighbouring property and is positioned approx. 22 metres from the church and approx. 2.5 metres from the churchyard boundary wall (note: the proposed extension to The Beeches is approx. 30 metres from the church building). Therefore, careful consideration and planning must be taken prior to the commencement of the development works to The Beeches, to ensure that the proposals do not adversely impact on the context and setting of Holy Trinity Church and its churchyard, thereby reducing / mitigating any loss of aesthetic and historic significance to the Grade II listed church building and its grounds.</p> <p>Prior to the commencement of works on-site, the following activities should be carried out / provided, which include:</p> <ul style="list-style-type: none"> • External photographic survey of the existing building (The Beeches) and relationship with the adjacent Holy Trinity Church / churchyard, and particularly where the building work will be undertaken. • Thorough review and understanding of the proposed design drawings and specifications. • Through review and understanding of the Statutory Consents (Planning and Building Regulations). • Thorough review and understanding of the Arboricultural Impact Assessment (Tree Report) – 250926 ARBI 1126 AIA V1 FINAL. • Through review and understanding of the Heritage Impact Assessment. • Sampling of the stonework and mortar (to allow the same stonework to be used). • Sourcing of new stonework in readiness for the external wall construction. • Method Statements and Risk Assessments.

Ref:	GEN010
Ver:	1
IMS	01/12/2025

	<ul style="list-style-type: none"> The use only of suitably experienced and qualified craftsperson's / tradesmen to undertake the building works, and for an accredited historic buildings conservationist (i.e. Accredited Architectural Conservationist) to oversee the works in association with gaining the approval from BMBC Planning Department.
Potential for Enhancing Significance	It is proposed for vernacular building materials to be used for the extension that primarily consists of local sandstone to the external walls of The Beeches with lime-based mortar pointing, and the existing York stone flags will be re-used for the patio. In addition, an external Kingpost Oak truss will be installed as part of the first-floor extension roof support, providing aesthetic value in the use of a natural timber material in the construction of a traditional truss form.
Level of Harm	<p>When viewed from the south and east elevation, from within the churchyard, the proposed extension to The Beeches will be visible through the Sycamore trees. Similarly, when viewed from the greenbelt farmland beyond the site to the south elevation, the proposed extension will be partially visible through the trees and rural hedging. The level of harm to the setting and context of place, which contributes to the significance of Holy Trinity Church, will be managed through a considered design approach that includes the proposed scale, materials and workmanship to The Beeches extension to ensure that the heritage values of the place in its context and setting will be sustained.</p> <p><u>Suggested mitigation</u> - LPA to use suitably worded conditions to ensure that the building works are undertaken in accordance with the design proposals (see drawing list above). Also refer to 'Potential for Mitigating Harm' above.</p>

Ref:	GEN010
Ver:	1
IMS	01/12/2025

Summary:

Proposals to extend the dwellinghouse (The Beeches) that sits adjacent to Holy Trinity Church site / churchyard will:

- Involve the careful removal of a 2.5x2.5m 1980's extension and first-floor balcony to the rear of the property.
- Include a combined single-storey and two-storey extension to the rear (south) elevation of the building, to meet the residential needs of the occupants of the four bedroom house.
- Use vernacular materials (local stonework and oak timber) that will sustain the heritage values of the historic environment.
- Be at a suitable scale and form, approx. 10 metres from the churchyard boundary, which will not materially harm the heritage values of the place or it's setting.
- Provide a quality of design and execution that will respect the significance of its context and setting adjacent to Holy Trinity Church and the churchyard.

Ref:	GEN010
Ver:	1
IMS	01/12/2025



P14 – Existing south elevation to The Beeches and Holy Trinity Church Photograph by D. Houlty, Dec 2025.



P15 – Existing north elevation to The Beeches. Photograph by D. Houlty, July 2022.



Ref:	GEN010
Ver:	1
IMS	01/12/2025

P16 – Existing South Elevation to The Beeches identifying first-floor balcony and columns to be removed. Photograph by D. Houlty, Dec 2025.



P17 – Existing South Elevation to The Beeches identifying 1980's 2.5x2.5m extension to be removed. Photograph by D. Houlty, Dec 2022.



Ref:	GEN010
Ver:	1
IMS	01/12/2025

*Context Plan - illustrating distances between site boundary and Holy Trinity Church.
Source: Location Plan by Meridian Architecture, Dec 2025.*

8. Compliance with BMBC policy and NPPF

Barnsley Metropolitan Borough Council (BMBC) produced and adopted the **Barnsley Local Plan** on 3rd January 2019, with new and updated Supplementary Planning Documents (SPDs) that were adopted on 23rd May and 28th November 2019. Seven of the SPDs have been subsequently updated between July 2022 and March 2024, which includes 'House extensions and other domestic alterations' (adopted March 2024). In addition, SPDs 'Heritage Impact Assessment' and 'Trees and hedgerows' have also been consulted, as part of the development of the design proposals and supporting documents. These sections of the Barnsley Local Plan and the associated policies have been referenced to inform and develop the proposals and the heritage statement, to support the Planning Application.

In accordance with the Barnsley Local Plan policies identified below, these have been consulted during the development of the design proposals and the Heritage Impact Assessment.

Local Plan policy: GD1 - General Development. The proposals set out ensure that there will be no adverse effect on the living conditions and residential amenity of existing and future use of the neighbouring land, and the proposals are compatible with neighbouring land and will not significantly prejudice the current or future use of the neighbouring land.

Local Plan policy: D1 - High Quality Design and Place Making. The proposals set out are of a high quality design and respect the distinctive local character including the landscape, views to key buildings, heritage, scale, layout, building styles and vernacular materials.

Local Plan policy: LC1 - Landscape Character. The proposals set out have been developed with consideration to retaining and enhancing the character and distinctiveness of the individual Landscape Character area in which it is located, through the use of vernacular materials and at an appropriate scale and form.

Ref:	GEN010
Ver:	1
IMS	01/12/2025

Local Plan policy HE1: The Historic Environment. The proposals set out ensure that the development affecting the designated heritage asset (Holy Trinity Church), conserve those elements which contribute to its significance, through considered management and conservation of the historic environment and its assets.

Local Plan policy HE2: Heritage Statements and general application procedures. This Heritage Impact Assessment includes a description of the heritage significance of Holy Trinity Church and it's setting. This offers an appropriate but proportionate level of detail that provides an understanding of the significance of Holy Trinity Church, but no more than is necessary to understand the impact to the heritage asset and it's setting resulting from the proposed house extension to The Beeches. This is also a requirement that is set out in the NPPF (Section 16, para. 207).

Local Plan policy HE3: Developments affecting Historic Buildings. The proposals have been developed to respect the historic precedents of scale, form, massing, architectural detail and the use of appropriate materials that contribute to the special interest of the building. The extension to the Beeches is approx. 30 metres from the Holy Trinity Church building, and approx. 10 metres from the churchyard boundary wall. The external walls of the extension will be of local sandstone (carboniferous) and the roof to the two-storey element will be supported with an exposed oak kingpost truss.

Local Plan policy HE4: Developments affecting Historic Areas or Landscapes. The proposals set out to respect historic precedents of layout, density, scale, forms, massing, architectural detail and materials that contribute to the special interest of the area. In addition, the proposals set out to respect important views either within the area or views that contribute to the setting of the area.

Ref:	GEN010
Ver:	1
IMS	01/12/2025

Having referred to the Barnsley Local Plan interactive map, Holy Trinity Church and The Beeches are not within a Conservation Area, and the Greenbelt Area boundary is positioned directly adjacent to the south of The Beeches site. There are no Article 4 Directives associated with the site of The Beeches.

9. Justification

The owners (also the occupants) of The Beeches have submitted proposals for a combined single-storey and two-storey house extension to the rear of the property, to increase the ground floor kitchen / dining and first-floor bedroom to provide additional space within the residence for a growing family. The house has had little investment since the late 1990's when the current windows were last installed, and the owners are proposing to re-organise and increase the internal layout to the kitchen space to provide an open-plan kitchen / dining / snug area, enlarge the first-floor master bedroom above the kitchen, and to replace the existing patio to the rear. There are no proposed development works to the front of the house (with the exception of connecting the below-ground drainage pipework).

The proposed extension to The Beeches has been situated to the rear elevation (south-west side of the building), and Holy Trinity Church site is positioned to the east of the boundary. Therefore, when the church building is viewed from the main road (A629 Halifax Road) to the front, the proposed house extension to The Beeches will not be visible, and as such will have no impact on the heritage values of Holy Trinity Church and its setting from the north aspect. When the church is viewed from the farmland / greenbelt area to the south or from the churchyard to the east, the proposed extension to The Beeches is visible, although the church building is heavily obscured by the Sycamore trees in the churchyard, and native rural hedging to the site boundary. The proposals have been developed to respect the important views from within the churchyard and from the natural rural landscape to the south aspect that contribute to the setting of the area.

Ref:	GEN010
Ver:	1
IMS	01/12/2025

The guiding principle throughout the design of the proposed extension to The Beeches was implementation of high quality design, with careful consideration to the scale, form and massing, and the use of natural materials that respects the local building vernacular. The single-storey extension has a pitched roof that does not extend beyond the ridge of the existing garage building in front, and its juxtaposition offers a single-storey double-pitched roof arrangement frequently used on rural / semi-rural buildings. The two-storey element of the extension has a pitched roof that does not extend beyond the existing roof in front and is supported with an exposed oak timber kingpost truss – a truss typology frequently used during the Victorian period when Holy Trinity Church was built. A smaller pitched roof canopy supported with an exposed oak timber kingpost truss is proposed to the side entrance, which does not extend beyond the single-storey pitched roof of the extension.

The use of natural materials that respects the local distinctive character and landscape is fundamental to the design of the proposed house extension, and the proposed specifications of the materials (see section 7.2 Description of Proposals) complement the existing building and the neighbouring Holy Trinity Church. Local carboniferous sandstone (with lime-based mortar pointing) will match the existing building and will develop the same patina over time. The external oak timberwork to the first-floor kingpost truss and side entrance canopy truss will resonate with the natural rural landscape to the south aspect, with an architectural form that recognises the historic precedent of the church. The proposed frame colour to the windows is anthracite grey (RAL 7016) that will match the palette tone of the stonework. The existing York stone flags will be carefully removed and safely stored for reuse to replace the patio area. The proposed roof tiles to the extension are plain dark-grey to match the existing.

The proposals have been developed to ensure that there will be no adverse effect on the living conditions and residential amenity of the neighbouring house ‘Stanhope’ to the west of the site, and future use of the neighbouring land, and the proposed extension to The Beeches will not significantly prejudice the current or future use of the neighbouring land.

Ref:	GEN010
Ver:	1
IMS	01/12/2025

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Ref:	GEN010
Ver:	1
IMS	01/12/2025

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Ref:	GEN010
Ver:	1
IMS	01/12/2025