

Application Reference: 2026/0505

Site Address: 11 Limes Close, Staincross, Barnsley, S75 6JS

Introduction: This is a householder application which proposes the replacement of an existing single storey side extension (including removal of rear conservatory) with a new 2 storey side extension, erection of single storey front extension, and alterations to rendering to front and rear of dwelling

Relevant Site Characteristics:

11 Limes Close is a 70's style detached brick built property, with a slightly sloping roof which appears as a flat roof when viewed from the front of the dwelling. There are small elements of timber cladding on the frontage of the property. The property has a single storey side garage and a rear flat roof extension and a conservatory.

The properties along Limes Close are of a similar 70's flat roof style design. There are differences in the colour cladding on the frontages of properties as well as render and a variety of extension styles. The property has a long driveway and a large front garden area and the rear of the property faces over onto agricultural land.

Site History

No planning history for this dwelling, however a number of the dwellings along the street have been extended with side/rear extensions and have been rendered.

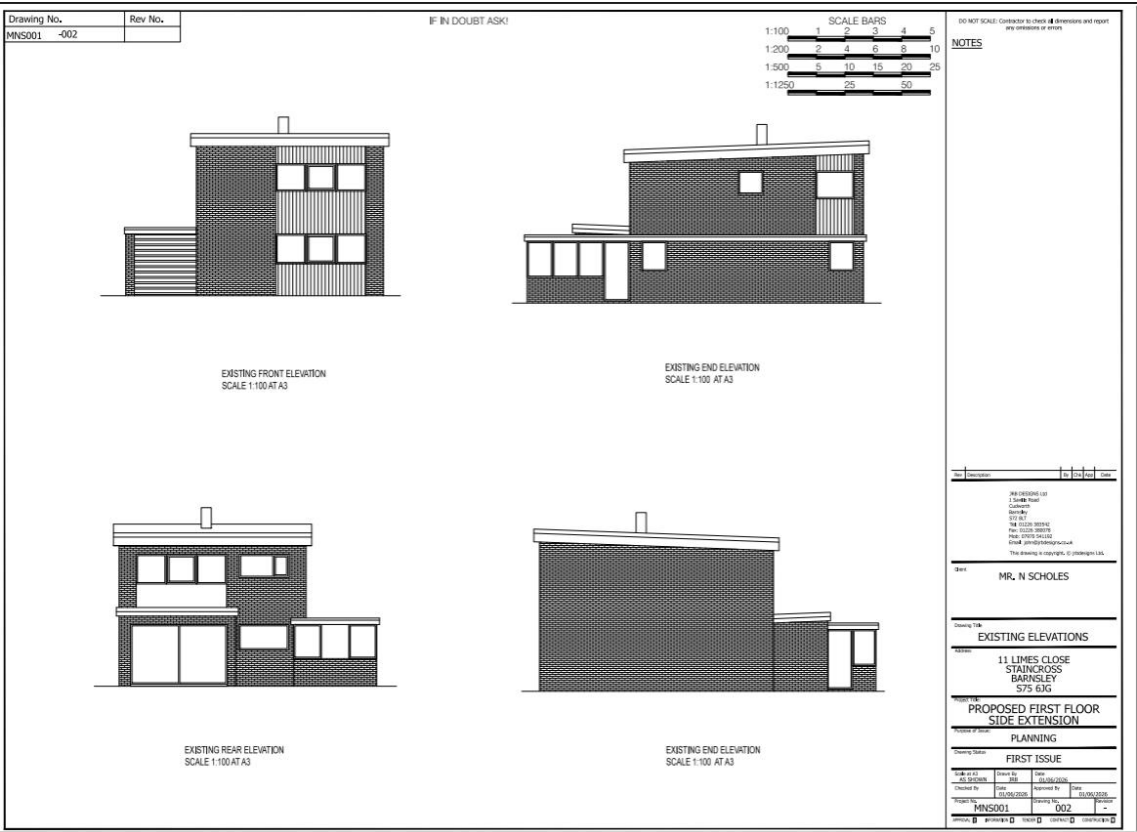
Description of Proposed Works

This is a householder application which proposes the replacement of an existing single storey side extension (including removal of rear conservatory) with new 2 storey side extension with a projection of approximately 3.2m and extends the length of the dwelling, and a set back at first floor level of approximately 0.6m with a corresponding lowered roofline.

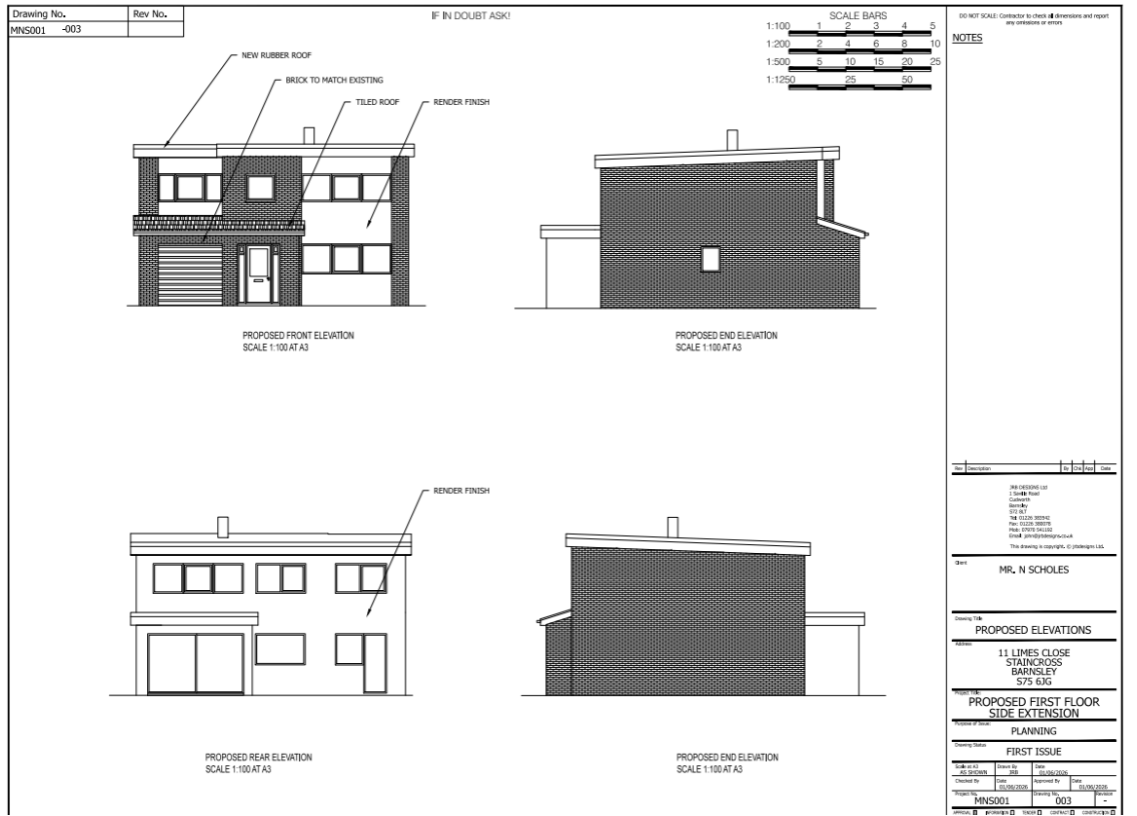
The proposal includes the erection of single storey lean to front extension to form a porch and extension to the garage, and alterations to rendering to front and rear of dwelling.

The side extension would provide an additional bedroom and en-suite at first floor and a garage, utility, wc and extended kitchen at ground floor.

Existing Elevations



Proposed Elevation



Existing and Proposed Floor Plans



Relevant Policies

The Development Plan

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires proposals to be determined in accordance with the development plan unless material considerations indicate otherwise. The development plan for Barnsley consists of the Barnsley Local Plan (adopted January 2019).

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027, or earlier, if circumstances require it.

The following Local Plan policies are relevant in this case:

- Policy SD1: Presumption in favour of Sustainable Development.
- Policy D1: High Quality Design and Place Making.
- Policy GD1: General Development.
- Policy T4: New Development and Transport Safety

National Planning Policy Framework (NPPF) and the National Planning Practice Guidance

In December 2024, The Government published a revised National Planning Policy Framework ("NPPF") which is the most recent revision of the original Framework, published first in 2012 and updated a number of times, providing the overarching planning framework for England. It sets out the Government's planning policies for England and how they are expected to be applied. The NPPF must be taken into account in the preparation of local and neighbourhood plans and is a material consideration in planning decisions. This revised document has replaced the earlier planning policy statements, planning policy guidance and various policy letters and circulars, which are now cancelled.

Central to the NPPF is a presumption in favour of sustainable development which is at the heart of the framework (paragraph 10) and plans and decisions should apply this presumption in favour of sustainable development (paragraph 11). The NPPF confirms that there are three dimensions to sustainable development: economic, social and environmental; each of these aspects are mutually dependent. The most relevant sections are:

Section 2 - Achieving sustainable development

Section 4 - Decision making

Section 12 - Achieving well-designed places

The National Design Guidance (2019) is a material consideration and sets out ten characteristics of well-designed places based on planning policy expectations. A written ministerial statement states that local planning authorities should take it into account when taking decisions.

Supplementary Planning Guidance

In line with the Town and Country Planning (Local Planning) (England) Regulations 2012, Barnsley has adopted twenty eight Supplementary Planning Documents (SPDs) following the adoption of the Local Plan in January 2019. The most pertinent SPD's in this case are:

- House extensions and other domestic alterations

The adopted SPDs should be treated as material considerations in decision making and are afforded full weight.

Consultations

The application has been advertised in accordance with Article 15 of the Town and Country Planning Development Management Procedure (England) Order 2015. Any neighbour sharing a boundary with the site has been sent written notification and the application has been advertised on the Council website.

No comments have been received and no further consultations were required.

Planning Assessment

For the purposes of considering the balance in this application, the following planning weight is referred to in this report using the following scale:

- Substantial
- Considerable
- Significant

- Moderate
- Modest
- Limited
- Little or no

Principle

The site falls within Urban Fabric. Extensions and alterations to a domestic property are acceptable in principle provided that they remain subsidiary to the host dwelling, are of a scale and design which is appropriate to the host property and are not detrimental to the amenity afforded to adjacent properties.

Scale, Design and Impact Upon Visual Amenity

The SPD House Extensions states that proposals for house extensions, roof alterations, outbuildings and other domestic alterations should: Be of a scale and design which harmonises with the existing building and be subordinate and maintain the character of the street scene.

The application proposes the replacement of an existing single storey side garage extension (including removal of rear conservatory) with a new 2 storey side extension with a projection of approximately 3.2m and a set back at first floor level of approximately 0.6m with a corresponding lowered roofline.

In terms of the design and scale of side extensions, the SPD states that:- 'The sideways projection of a two storey side extension should not exceed more than two thirds the width of the original dwelling.' The proposal meets the SPD in this regard and has a matching roof and window details.

The proposal includes a set back of 0.6m from the main front wall of the dwelling. A setback from the front elevation allows for a vertical break in the roof plane and a lowering of the ridge line. In addition to the set-back from the front, the extension is set away from the side boundary to allow access to the rear of the property.

The proposal also includes the erection of single storey lean to front extension to form a porch and extension to the garage, and alterations to rendering to front and rear of dwelling. In terms of the small front projection and the proposed areas of rendering, these are acceptable and would match other similar extensions on the street scene. The proposal is therefore considered to be acceptable in terms of scale and design, and would not harm the visual amenity of the street scene in accordance with the SPD and Policy D1 of the Local Plan. This is afforded moderate weight.

Impact on Neighbouring Amenity

The SPD House Extensions states that proposals should not adversely affect the amenity of neighbouring properties. This would relate to the proposals impact upon any neighbouring dwellings, in terms of overshadowing/loss of light, overbearing impact and any loss of privacy from new windows.

The proposal includes a 2 storey side extension which extends the length of the property with a small front lean to extension. The applicant's dwelling is set slightly forward of the neighbouring dwelling number 9, which is set to the south of the proposed extension, therefore

there should be very little to no impact in terms of overshadowing/loss of light, given the path of the sun.

In terms of privacy, the proposal does not include any new habitable side windows (one window is shown on the side elevation at ground floor to a wc) which would overlook the neighbouring properties, and the windows to the principle front and rear elevations would not significantly increase overlooking. The neighbouring dwelling, number 9 also does not have any habitable room windows to the side elevation, therefore there would be no significant overbearing impact to this property.

The application is therefore acceptable in terms of residential amenity in compliance with Local Plan Policy GD1 and D1.

Moderate weight has been given to the impact on residential amenity.

Highways

Whilst the proposal increases the floor space and number of bedrooms within the property, the property has a large driveway which will allow for the parking of at least 2 vehicles in line with the SPD Guidance. As such, the scheme is acceptable from a highways perspective in compliance with Local Plan Policy T4 New development and Transport Safety and SPD: Parking.

Limited weight has been given to highway safety.

Planning Balance and Conclusion

For the reasons given above, and taking all other matters into consideration, the proposal complies with the relevant plan policies and planning permission should be granted subject to necessary conditions. Under the provisions of the NPPF, the application is considered to be a sustainable form of development and is therefore recommended for approval.

RECOMMENDATION: Approve subject to conditions

It has not been necessary to make contact with the applicant to request amendments to the proposal during the consideration of the application, as it was deemed acceptable.

STATEMENT OF COMPLIANCE WITH ARTICLE 35 OF THE TOWN AND COUNTRY DEVELOPMENT MANAGEMENT PROCEDURE ORDER 2015

Due regard has been given to Article 8 and Protocol 1 of Article 1 of the European Convention for Human Rights Act 1998 when considering objections, the determination of the application and the resulting recommendation. it is considered that the recommendation will not interfere with the applicant's and/or any objector's right to respect for his private and family life, his home and his correspondence.