

Application Ref:

2021/0981

Address:

The Willow, Lane Head Road, Cawthorne, Barnsley, S75 4DP

Neighbour Representations: No

Cawthorne Parish Council: No comments

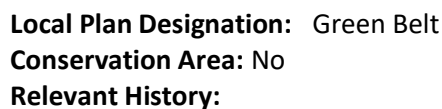
Property Description:

The property is a stone built semi detached dwelling set within the Green Belt off Lane Head Road, Cawthorne. The dwelling is located within a small cluster of properties within Cawthorne Basin. The property has been extended previously with a two storey side extension, single storey rear extension and a loft conversion. The rear of the existing two storey side extension is rendered. The attached property has been extended with a similar dormer as proposed.





The proposal involves the erection of a two storey rear extension and rear dormer to dwelling, which would extend to the rear of the existing dwelling and the proposed extension. The proposed extensions would be constructed of matching stone and tiles and the dormer would match the adjacent property in terms of style and colour. The proposed extension to the rear of the existing two storey extension would result in the roof being raised to the height of the original dwelling.



Acceptable in Principle: Yes

Side Extension:	Yes / No (include comment if required)
Single Storey	
1. set back	
Two Storey / First Floor	
2. set back / set down (500mm minimum)	No
3. less than 2/3 the width of the original dwelling	Yes
All	
4. roof design corresponds to existing	Yes

5. windows / doors of a similar design / proportion	Yes
6. habitable room windows on the side elevation	No
7. materials to match	Yes
8. neighbouring property extended to side or windows?	No
9. Any change to parking or access?	No

Rear Extension:

	Yes / No (include comment if required)
Single Storey	
1. terraced property and less than 3.5m (projection to rear)?	
2. semi-detached and less than 4m?	
3. if more than 3m are the eaves more than 2.5m in height?	
Two Storey	
4. terraced property and less than 2.5m (projection to the rear)?	
5. semi-detached and less than 3.5m?	Yes – 3.19
All	
6. materials to match	Yes
7. roof design compliments / ties in well	Yes
8. habitable room windows on the side elevation?	No
9. distance to rear boundary (shared with another residential property) 10m or more?	Yes

Front Extension:

	Yes / No (include comment if required)
1. single storey?	
2. small projection? (confirm measurement)	
3. roof design corresponds to existing	
4. windows / doors of a similar design / proportion	
5. materials to match	

Dormer Extension

	Yes / No (include comment if required)
1. Pitched roof dormer on principle roof slope?	No – dormer to rear
2. Flat roof dormer on rear roof slope?	Yes

3. Dormers in street scene & similar style?	Yes
4. Set below roof ridge?	Yes
5. Set in [ideally 0.5m] from both the eaves and gable edge?	Yes
6. Set in 0.5m from party walls?	Yes

Garage / Outbuilding* Existing parking in front of garage to remain

	Yes / No (include comment if required)
6. single storey?	
7. height to eaves 2.5m or less?	
8. sympathetic design and materials to main dwelling?	
9. If room in the roof space, is it storage only?	

*granny annexes shouldn't be on this form

Green Belt: Rooms in roofspace do not count towards 100% - Dormer not included

	Measurements
1. Original dwelling	8.16 x 6.5 (x 2) Plus 1.5sqm bay = 107.5sqm
2. proposed extensions	Two storey rear 3.19 x 4.47 (x2) = 28.5sqm
3. any existing extensions	Two storey side 4.89 x 4.47(x2) = 43.7sqm Front part of garage 1.75 x 4.7 = 8.2sqm SS Rear 6.3 x 2.8 = 17.6sqm
4. total extensions (including proposed)	98sqm

The proposed extension to the rear of the existing two storey side extension would bring the roof up to the height of the existing dwelling, normally with any two storey side extension we would expect a set back from the front elevation, however in this instance there is no set back as existing. Whilst raising the roof would result in the extension having a less 'subservient' appearance, as the extension is historic it is felt that it would be unreasonable to refuse permission for this small extension to the roof on this basis alone. In addition, there is a front projecting garage element which helps to break up the extension with the existing dwelling. In this instance and on balance, the proposal is considered to be acceptable.

Recommendation:

Approve with conditions