

Proposed Replacement Dwelling
Unit 1 Manor Farm
Stainborough Lane
Hood Green
Barnsley
S75 3HA

Ref 20.05

June 2020

DESIGN & ACCESS STATEMENT

This statement has been prepared in support of an application for Full Planning Permission for the demolition of existing buildings in commercial use and their replacement with a detached dwelling.

1.0 Location

The site is located to the south side of Stainborough Lane approx. 0.7 miles south of Hood Green. The commercial buildings are shown edged in red on the image below.



Fig 01. Aerial View of the site showing the existing commercial buildings edged in red.

2.0 Description

The commercial use which involves the manufacture, fitting and sale of motor vehicle adaptations and accessories has been operated by Vamoose Camper Conversions at Manor Farm since planning permission ref: B/03/0731/PR was granted in 2003. The business re-

located in May 2020 but the website (vamoosecamperconversions.co.uk) still lists its address as Unit 1 Manor Farm, Stainborough Lane, Hood Green, Barnsley, S75 3HA.

The site has access from Stainborough Lane and employed 3No full time staff. Parking for staff and customers is provided on the concrete apron to the north of the building which is capable of accommodating at least 6 vehicles as well as manoeuvring space to allow vehicles to turn.

The existing buildings are shown on the Topographical Survey which forms part of the application documents. The buildings in commercial use are referred to as Building A and Building B.

Building A is the main premises and retail space and Building B is used for secure storage.

3.0 Assessment

3.1 Use

The existing use is established by the planning consent and the site has been in continual use until May 2020.

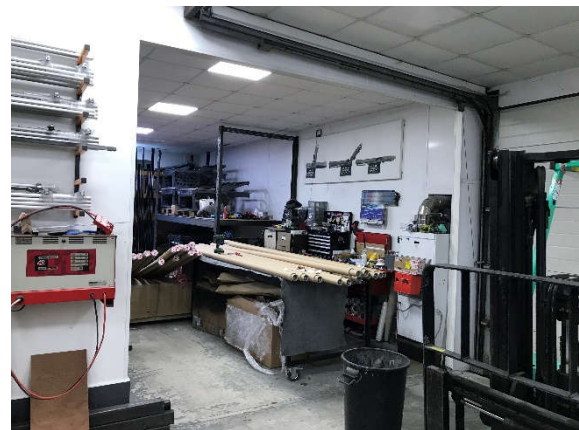


Fig 02. Internal views of commercial use.



Fig 03. Images of Building A North and West Elevation - Existing Commercial Use



Fig 04. Typical external North West Elevations of Building A.



Fig 05. View of Building A from S West



Fig 06. Building B West Elevation.

3.2 Drainage

4.2.1 Surface Water

The vast majority of the site area is covered with buildings or external hard surfaces such as concrete and drained to soakaways. These areas will be significantly reduced reducing the amount of positively drained areas and allowing more sustainable methods of permeable drainage to be applied. Full details of surface water drainage to be submitted for approval prior to commencement.

3.2.2 Flood Risk

The Environment Agency shows the site as within Flood Zone 1 which has a low probability of flooding. There are no watercourses or culverts within 20 meters of the site. The proposals will reduce the need for positive drainage allowing a greater amount of surface water to discharge into the ground. Subject to suitable design there is no reason why the development will lead to an increased risk of flooding locally or elsewhere.

3.2.3 Foul Drainage

Existing drainage connects to a septic tank shared with the adjacent farmhouse. The proposals will require the installation of a packaged sewage treatment plant, details of which are to be conditioned and provided for approval prior to commencement. The lack of a local watercourse is likely to require outfall drainage from a treatment plant to discharge into the ground. The discharge rate for a single dwelling will be less than that which would require a license from the Environment Agency.

3.3 Ecology

Middleton Ecology has prepared a bat and bird survey which found that:

'Very few potential roost features were noted and those present were fully inspected. It is considered that the surveyed buildings display negligible bat roost potential with roosting bats considered highly likely to be absent from the site.'

The survey did confirm the presence of nesting swallow and house sparrow however no other species including barn owl were recorded.

The report does suggest that two bat roosting features are included in the proposals to *'enhance the ecological value of the site'* and one of these has been included at high level on a west facing gable. In addition, the plans show provision for swallow nesting cups and house sparrow nesting boxes as recommended.

3.4 Trees and Hedges

The proposals indicate the removal of 1No tree ref: T1 on drawing P01B Site Plan and 7.0 meters of hedge to the north western boundary. The tree removal improves visibility sight lines in the westerly direction at the access and is mitigated by additional tree planting and the re-planting and extension of the boundary hedge.



Fig 07. View of T1 looking south west.



Fig 08. Image of T1 looking north east.

T1 is a semi-mature oak tree with a diameter of 0.5m and a height of 10 meters. The trunk is within 2 meters of the edge of the road resulting in very heavy pruning on the north west side creating an unbalanced crown. There is a branch at 3m above ground level which shows signs of a cavity. There is no tree preservation order although there is a TPO which protects oak trees to the south west. T1 has a backdrop of a wood on the opposite side of Stainborough Lane (to the north west) and its loss to improve visibility at the access would not be significant and would be worthwhile.

The 7.0m long section of hedge to be removed is located immediately south west of T1 and will be replaced with a mixed thorn hedge extending 19.7 meters long to the access as shown on drawing ref: P01B.

It is proposed to provide additional planting, which could be used to enhance the avenue of protected oaks along the south boundary of Stainborough Lane, details to be conditioned subject to a landscaping proposal.

3.5 Ground Conditions

A Phase 1 Environmental Appraisal and Coal Mining Risk Assessment (CMRA) has been undertaken by Rogers Geotech and a copy of the report is included with the application documents.

The CMRA identifies the possibility of un-recorded shallow workings and recommends further investigation in the form of drilling to further explore the ground conditions. This work is to be undertaken and the results made available to the council prior to any development commencing on site.

The desk-based report recommends further intrusive investigation prior to development taking place.

4.0 Evaluation

This proposal is part of an overall redevelopment of commercial buildings and redundant agricultural buildings at Manor Farm. The commercial buildings to which this application relates will be taken down and replaced with a detached dwelling. A number of redundant agricultural buildings will also be removed and two buildings will be retained as part of a change of use to a further dwelling, and a separate Prior Notification has been submitted for these works which are considered to qualify under GPDO.

This application relates to the removal of the commercial building and its replacement with a detached dwelling.

4.1 Use

The Barnsley MBC Local Plan maps indicate that the site is located within the Green Belt. The existing use is commercial and the proposed use is residential. The replacement of existing buildings within the green belt is supported by local and national planning policy and this is explained further in the accompanying Planning Statement.

4.2 Amount

The existing commercial use comprises two buildings shown on the Topographical Survey and individual Building Surveys.

	Floor Area	Volume
Building A	336m ²	1297m ³
Building B	68.5m ²	228m ³
Total	404.5m²	1525m³

The existing building has an eaves height of 140.05m and a ridge height of 141.13m AOD. In addition, there are extractors which project approximately 1.0m above the ridge height.

The proposed dwelling has a total floor area of 326m² and a volume of 1183m³. The maximum eaves height of the dwelling is 139.35 and the max ridge height is 141.330 AOD.

The proposed dwelling has a smaller floor area and volume than the existing building which it replaces. It takes advantage of the site levels to provide a two-storey dwelling without excessively increasing the ridge height which also helps to significantly reduce the external footprint of the building from 458m² to 226m².

This does not take account of the removal of a large area of additional agricultural buildings immediately to the south and east amounting to 1896m² around with a maximum ridge height of 143.03, approximately 2.0m higher than the ridge height of the proposed dwelling.

4.3 Layout

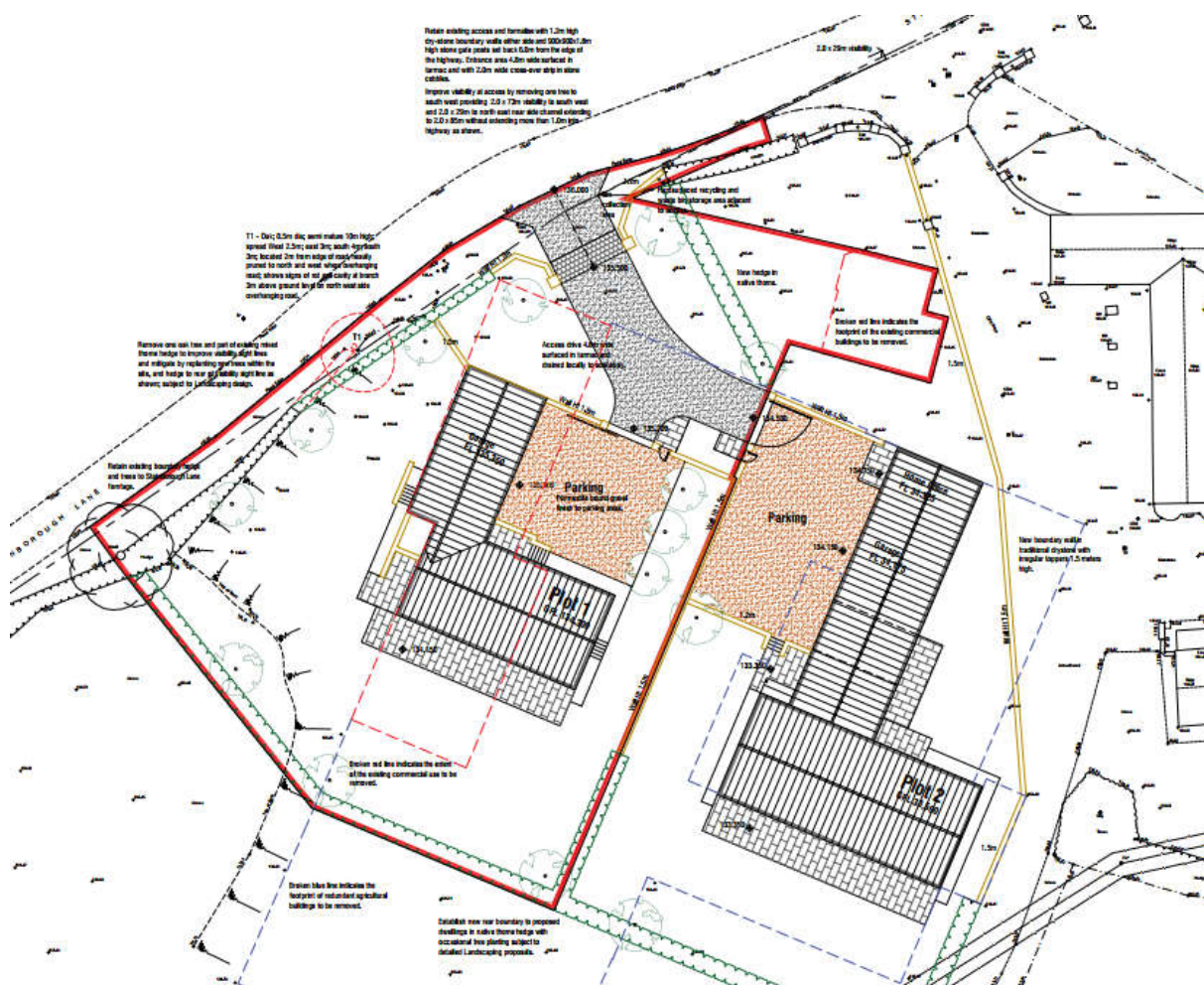


Fig 09. Extract from P01 Rev B Site Plan.

The replacement dwelling is referred to as Plot 1 on the Site Plan. The plan area of the existing commercial use is shown with a broken red line and the majority of the proposed dwelling sits within its footprint.

The position of the existing access has been retained and will serve the replacement dwelling and the change of use (Plot 2) which is the subject of a separate application. There

is adequate space at the access to Stainborough Lane to provide hardstanding for waste and recycling bins to be stored on collection day.

The shared access connects to a parking and turning area within the plot via an automatic gate and the entrance to the dwelling is taken from the parking area.

There are no issues with adjacent dwellings that may cause impact upon private amenity, overshadowing or overbearing. The closest dwelling is the west gable wall of Plot 2 which is just over 14m from the east gable wall of Plot 1. There is a ground floor window to the sitting room in the east gable wall but no first-floor windows that would give way to overlooking.

Private rear gardens are located to the south west taking advantage of long-distance views.

4.4 Scale

The proposed dwelling is two storeys with a single storey garage and home office which projects towards the north. The floor level of the single storey element is 0.8m lower than the existing building which it replaces and the ridge height is proposed dwelling is 1.6m lower. This has been achieved by taking advantage of the natural topography of the site which slopes from north to south.

The two-storey element has a ground floor level 2.0m lower than the existing building and a maximum ridge height of 141.330 AOD, which is very similar to the existing building 141.130, just 200mm higher. This does not take account of the extract fans located on the roof of the existing building which are approx. 1.0m higher and it's worth noting that the adjacent agricultural building, which is to be removed as part of the works, has a ridge height of 143.030, almost 2.0m higher than the proposed dwelling.

The proposed dwelling is further away from Stainborough Lane and it has lower eaves and floor levels than the existing building it replaces. It occupies a much smaller footprint and the over-all scale of the proposed development, particularly when taking into account the removal of the adjacent agricultural buildings is substantial.

The reduction in scale will have a significant impact on improving the openness of the green belt and enhancing the visual amenity of the overall site within the countryside.

4.5 Landscaping

The site is devoid of significant soft landscaping and covered with buildings and concrete. The boundary to Stainborough Lane does feature a native mixed thorn and holly hedge and a number of trees that are mainly oak.

The majority of these will be unaffected by the works however one oak tree will be removed and a section of the hedge to improve visibility sight lines at the access. There is a Tree Protection Order covering oak trees in this area but the tree to be removed is not part of that order and we have described its condition earlier in the report.

There is sufficient opportunity within the site for the removal of the hedge and one oak tree to be mitigated by proposals for replanting which is to be conditioned subject to a detailed landscaping design.

The proposals provide details of hard landscaping on the Site Plan ref P01 Rev B which includes tarmac to the new shared access, permeable bound gravel to the parking area and

natural or approved artificial stone flags to paths. Walls within the site are shown as traditional drystone with irregular toppers and wall heights are provided.

4.6 Appearance

The proposed dwelling has been designed in the traditional agricultural vernacular comprising an L-shaped range of a two-storey barn with a single storey attached outbuilding. Many of the features reflect the agricultural buildings to be removed such as the timber cladding and low-pitched roof covered in dark grey standing seam sheeting, and the use of dry-stone walling to the external walls at low level framed by stone quoins at external corners and door and window reveals.

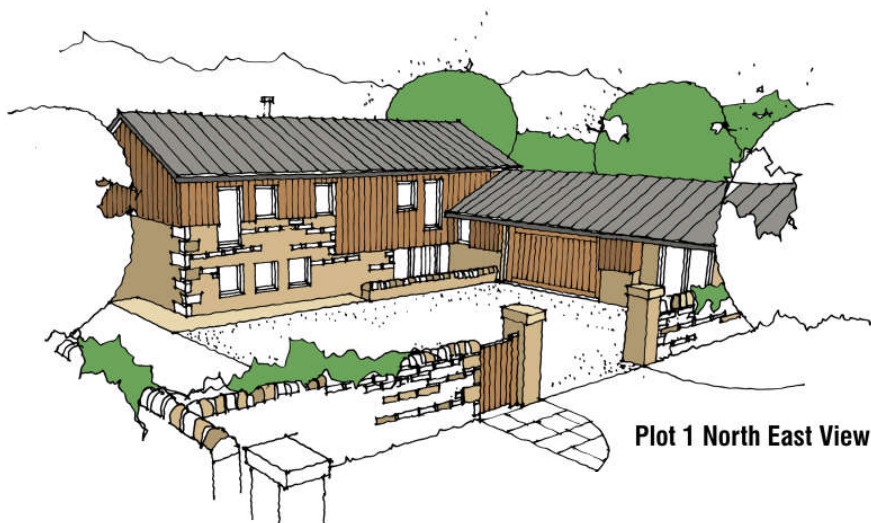
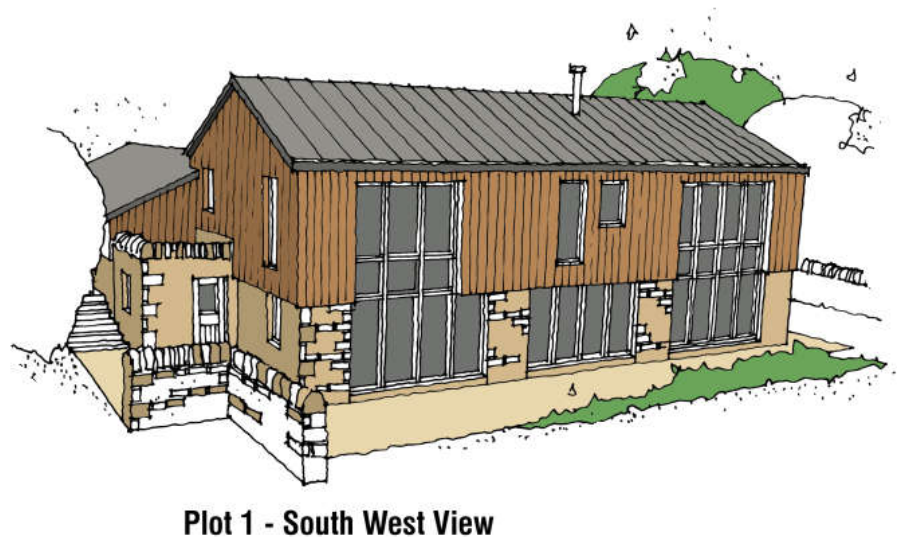


Fig 10. Typical views



Although the design maintains traditional aspects of scale, proportions and use of materials, it introduces contemporary elements such as deeply recessed window frames and larger glazed openings in aluminium frames with a grey powder coat finish.

The design is intended to complement the development of the adjacent Plot 2 which employs a similar approach as part of a change of use of a redundant agricultural building.

5.0 Access

The position of the existing access has been retained. It is currently informal and surfaced with a concrete apron to the Stainborough Lane frontage as shown below. The business employed 3 staff and provides parking and manoeuvring for at least 6 vehicles.



Fig 11. Existing access to Stainborough Lane.



Fig 12. View from access looking s-west.



Fig 13. View from access looking n-east.

The proposals are to formalise the entrance to a shared access serving two dwellings. It is considered that this is likely to have no significant effect on the intensification of use compared to the current business use, however it is proposed to remove one tree and replant part of a hedge to improve visibility sight lines to the south west as shown on the Site Plan.

Stainborough Lane is 4.5m wide at the access and there are no footpaths. The proposed access has been designed at 6.0 meters wide to aid vehicles entering and leaving the site and allowing two vehicles to pass at the entrance. New boundary walls and gate posts have

been set back behind the visibility sight lines and splays provided to aid inter-visibility for pedestrians. The shared access drive will be surfaced in tarmac with a cobbled cross-over strip and give access to individual parking areas with automatic gates.

The proposed dwelling has a garage with internal dimensions of 6.3 x 6.0m providing two parking spaces and there is room to park at least a further two cars on the drive without compromising turning space.

The access is capable of accommodating a fire appliance that could reverse to within hose length of all corners of the proposed dwelling. Refuse and recycling bins would be left adjacent to the access for collection.

The site takes advantage of existing topography that may limit wheelchair access to all areas however ambulant disabled access can be provided using a shallow stepped approach to the main entrance.

6.0 Summary

The proposals are for the removal and replacement of an existing commercial building with a dwelling within the green belt. Associated works include the removal of adjacent agricultural buildings and the change of use of a building into a dwelling which forms part of a separate Prior Notification under a GPDO. The replacement of the commercial use is supported by planning policy subject to scale and design which we have described and shown in this statement to be appropriate.



The proposals involve the clearance of redundant farm buildings due to the relocation of the farming activities and their replacement with a small-scale development that will enhance the openness and visual amenity of the countryside location and we look forward to the council's support.

MBooth Design