

Drawing No.	Drawing Name	Revision
C1096 000	Existing Site Drawings Ordnance Survey Plan	0 1
C1096 001	Existing Site Drawings Site Ownership Plan	0 1
C1096 010	Existing Plan Ground Floor Level	0 1
C1096 011	Existing Plan Higher Floor Level	0 1
C1096 015	Existing Plan Roof Level	0 0
C1096 021	Existing Elevations Sheet 1	0 1
C1096 022	Existing Elevations Sheet 2	0 1
C1096 031	Existing Sections Sheet 1	0 0
C1096 032	Existing Sections Sheet 2	0 0
C1096 033	Existing Sections Sheet 3	0 0
C1096 034	Existing Sections Sheet 4	0 0
C1096 035	Existing Sections Sheet 5	0 0
C1096 036	Existing Sections Sheet 6	0 0
C1096 050	Demolition Plan Ground Floor Level	0 1 2
C1096 051	Demolition Plan First Floor Level	0 1 2 3
C1096 052	Demolition Elevations Sheet 1	0 1 2 3
C1096 053	Demolition Elevations Sheet 2	0 1 2

	DATE	Day	Month	Year
DISTRIBUTION		18	21	10
		11	12	02
		21	21	22
Client	Donaldson's Vets Ltd	*	*	*
Structural Engineer	Topping Engineers Ltd	*	*	*
Consultant				
Consultant				
Mechanical Consultant				
Electrical Consultant				
LA Planning	Barnsley Council			*
Building Control				*
Contractor				
Shared Folder	Dawson Williamson Ltd	*	*	*
	Issued Form	D	D	D
	Status	P	P	P

Drawing No.	Drawing Name	Revision
C1096 101	Proposed Site Drawings Site Layout Plan	1 2
C1096 110	Proposed GA Plans Ground Floor Level	0 1 2 3 4 5 6
C1096 111	Proposed GA Plans First Floor Level	0 1 2 3 4
C1096 150	Proposed Setting Out Plan, Ground Floor Level	0 1 2
C1096 151	Proposed Setting Out Plan, First Floor Level	0 1 2
C1096 201	Proposed GA Elevations Sheet 1	0 1 2 3
C1096 202	Proposed GA Elevations Sheet 2	0 1 2 3
C1096 301	Proposed GA Sections Sheet 1	0
C1096 302	Proposed GA Sections Sheet 2	0
C1096 303	Proposed GA Sections Sheet 3	0
C1096 304	Proposed GA Sections Sheet 4	0
C1096 305	Proposed GA Sections Sheet 5	0
C1096 306	Proposed GA Sections Sheet 6	0
C1096 451	Proposed Document Design & Access Statement	0

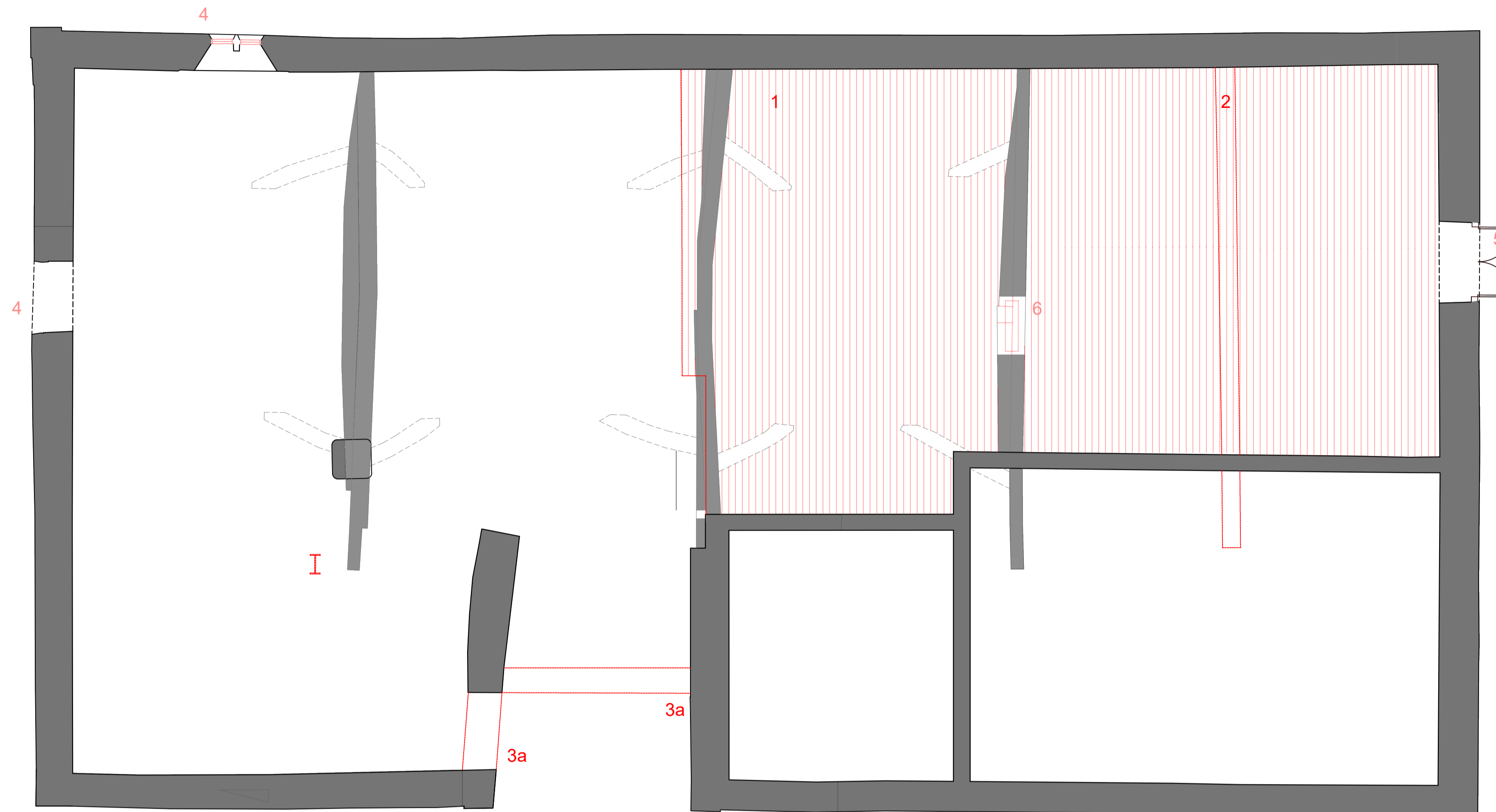
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		14	02	22
		30	05	22
		21	06	22
		26	09	22
		09	11	22
Client	Donaldson's Vets Ltd	*	*	*
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Consultant				
Consultant				
Mechanical Consultant				
Electrical Consultant				
LA Planning	Barnsley Council	*	*	*
Building Control				
Contractor				
Shared Folder	Dawson Williamson Ltd	*	*	*
	Issued Form	D	D	D
	Status	P	P	P

Notes
All dimensions to be checked on site
Any discrepancies to be reported immediately to the Architect
Drawing to be read in conjunction with all relevant design information, including Architects, Services, Civil and Structural Engineers drawings
All existing site, tree, building and survey information has been compiled from different sources, including information supplied by third parties

NOT FOR CONSTRUCTION

- Drawing Notes:**
- 1 Existing timber first floor structure to be removed as part of the proposition
 - 2 Existing roof truss to be removed as part of proposition, a scheme identifying structural alterations is to be produced by the Project Structural Engineer in due course
 - 3 Existing external masonry element to front of building which is assumed to be load-bearing and identified as requiring demolition / taking down as part of the proposition, the existing roof construction over is to be retained with new structural support provided to suit a design scheme which is to be produced by the Project Structural Engineer in due course
 - 3a Existing external masonry element forming cut out to outshut which is assumed to be load-bearing and identified as requiring part demolition / taking down to form an opening as part of the proposition, the existing roof construction over is to be retained with new structural support provided to suit a design scheme which is to be produced by the Project Structural Engineer in due course
 - 4 Existing windows to be stripped out of existing openings, openings to receive treatment as identified on Dawson Williamson Ltd proposals
 - 5 Existing doors to be stripped out of existing openings, openings to receive treatment as identified on Dawson Williamson Ltd proposals
 - 6 Existing 'Queen Post' roof truss to be altered to allow access through, a scheme identifying structural alterations is to be produced by the Project Structural Engineer in due course

General Structural Notes:
All work is to be carried out in accordance with a design scheme and details which will be produced by the Project Structural Engineer
The Principal Contractor is to be responsible for maintaining the integrity of the existing structure throughout the Construction Phase of the project



- Rev 3 2022.11.09 Principal elevation updated to suit comments from LA (Conservation Officer)
- Rev 2 2022.06.21 Design development, Drawing updated to "Planning Issue" status
- Rev 1 2022.02.14 Notes added, design development

C1096	051	Rev 3
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TITLE DEMOLITION & DOWNTAKINGS
BUILDING 1
HIGHER LEVEL
SCALE 1:50 @ A1 / 1:100 @ A1

PLANNING

PROJECT REFURBISHMENT OF NETHER MILL BARN
(GRADE II LISTED BUILDING)
TO FORM NEW VETERINARY SURGERY
BARNESLEY ROAD
PENISTONE
S36

CLIENT DONALDSONS VETS LTD

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NOT FOR CONSTRUCTION

Drawing Notes:

- 1 Existing roof covering to be stripped back to allow the installation of roof light glazing as part of the proposition
- 2 Hatch identifies the extent of the existing stonework to the front of the building which is to be taken down and rebuilt to form the new openings proposed as part of the proposition
- 3 Stone window / door heads and sills are to be taken down as part of the proposition, windows are to be removed

The existing roof construction over is to be retained with new structural support provided to suit a design scheme which is to be produced by the Project Structural Engineer in due course

- 4 Hatch identifies the extent of the existing stonework forming the cut out to the outshut which is assumed to be load-bearing and identified as requiring part demolition / taking down to form an opening as part of the proposition

The existing roof construction over is to be retained with new structural support provided to suit a design scheme which is to be produced by the Project Structural Engineer in due course

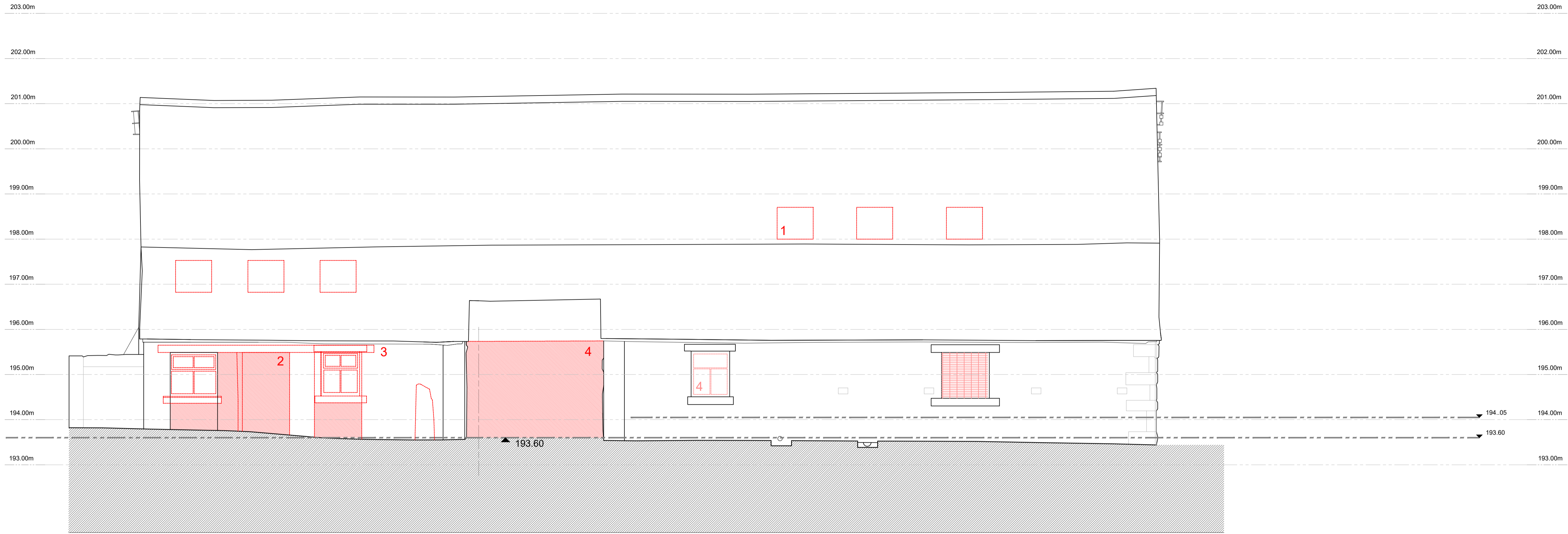
- 3 Existing windows to be stripped out of existing openings, openings to receive treatment as identified on Dawson Williamson Ltd proposals

- 4 Existing doors to be stripped out of existing openings, openings to receive treatment as identified on Dawson Williamson Ltd proposals

General Structural Notes:

All work is to be carried out in accordance with design and details produced by the Project Structural Engineer

The Principal Contractor is to be responsible for maintaining the integrity of the existing structure throughout the Construction Phase of the project



- Rev 3 2022.11.09 Principal elevation updated to suit comments from LA (Conservation Officer)
- Rev 2 2022.06.21 Design development, Drawing updated to 'Planning Issue' status
- Rev 1 2022.02.14 Notes added, design development

C1096 052 Rev 3

TITLE DEMOLITION & DOWNTAKINGS
 BUILDING 1
 ELEVATIONS (SHEET 2 of 2)
SCALE 1:50 @ A1 / 1:100 @ A3

PLANNING

PROJECT REFURBISHMENT OF NETHER MILL BARN
 (GRADE II LISTED BUILDING)
 TO FORM NEW VETERINARY SURGERY
 BARNESLEY ROAD
 PENISTONE
 S36

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NOT FOR CONSTRUCTION

Drawing Notes; Key Design Strategies:

- Demolition / Downtakings to existing external envelope are identified on Dawson Williamson Ltd Drawings Ref: C1096 050, 051, 052, 053
 Existing opening and stonework to each side to be retained with new glazed panel added (fixed)
 New openings to be formed to reflect the proportions of the adjacent original opening with new glazed panels to be added (fixed)
 Existing stonework to be reduced and rebuilt with 25mm set back to emphasise the proportions of the openings
 Salvaged / reclaimed stone cills and heads to be fixed to all openings
- Public spaces grouped together include the Reception / Waiting Area, Consulting Spaces and WC's which are all at the lower floor level and fully accessible from the entrance
- Veterinary Circulation and Clinical Spaces grouped together include a circulation route to the consulting spaces which does not have public access. The Dispensary forms a transitional space between Clinical areas and the Consulting function
- Existing openings to the Veterinary Circulation space and Clinical spaces (facing north west) are to be infilled to prevent observation of this area from the raised external spaces at the rear of the building
- Lightwell formed to allow natural light into the preparation area from above with roof lights being inserted into the fabric of the original building (roof)
- Existing openings which serve the morgue / lobby space and dog ward to the elevation facing north east to be retained with new doors being fitted within
- Existing windows / doors are to be removed from existing openings and either replaced or the opening is to be infilled to suit proposals indicated on elevation drawings

Note: The internal fabric of the building is to be retained as far as possible with only minimal demolition being proposed to allow the programme of spaces to be implemented. The internal fabric is to be exposed and celebrated where possible although the potential use requires certain clinical spaces to satisfy hygienic standards meaning that some elements will be hidden

- Rev 6 2022.11.09 Principal elevation updated to suit comments from LA (Conservation Officer)
- Rev 5 2022.06.21 Minor internal alterations, window notes updated Drawing updated to 'Planning Issue' status
- Rev 4 2022.05.30 Entrance area / glazed panel design updated following Pre-application Enquiry comments from LA
- Rev 3 2022.02.14 Key Design Strategies note / references added
- Rev 2 2022.02.09 Internal layout updated following review with Client
- Rev 1 2021.12.21 Internal layout updated following review with Client

C1096 110 Rev 6

TITLE PROPOSED DRAWING
 BUILDING 1
 PLAN; GROUND FLOOR LEVEL
 SCALE 1:50 @ A1 / 1:100 @A1

PRELIMINARY

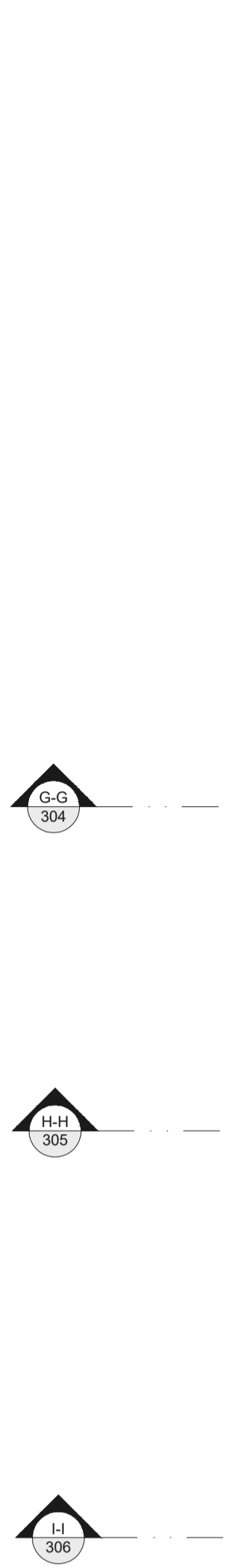
PROJECT REFURBISHMENT OF NETHER MILL BARN
 (GRADE II LISTED BUILDING)
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 BARNESLEY ROAD
 PENISTONE
 S36

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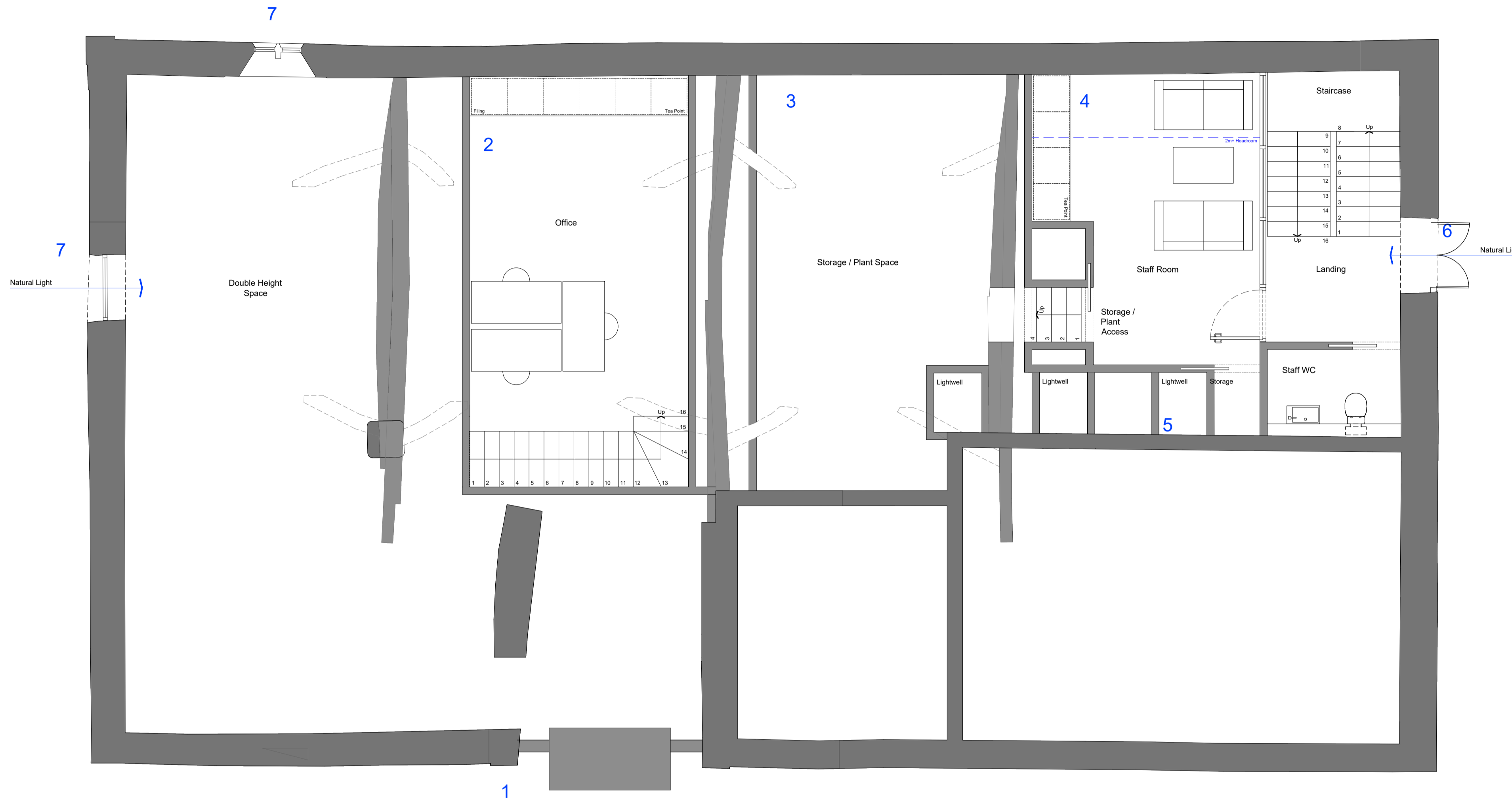
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NOT FOR CONSTRUCTION

Drawing Notes; Key Design Strategies:

- 1 Demolition / Downtakings to existing external envelope are identified on Dawson Williamson Ltd Drawings Ref: C1096 050, 051, 052, 053
- 2 Insulated aluminium framed elements with glazing panels / doors are to be formed and penetrate the external envelope to define the entrance to the building, increase levels of natural light in the public areas and provide visual connection with the external spaces aiding navigation
- 3 Office space formed in a structural bay of the original building with a new staircase providing a link to the ground floor level below, roof trusses and internal fabric to be exposed where practical considerations allow
- 4 Plant / storage space formed in a structural bay of the original building with a new staircase providing a link to the ground floor level, roof trusses and internal fabric to be exposed where practical considerations allow
- 5 Staff room formed in a structural bay of the original building with a new staircase providing a link to the ground floor level, roof trusses and internal fabric to be exposed where practical considerations allow
- 6 Lightwells formed to allow natural light into the preparation area from above with roof lights being inserted into the fabric of the original building (roof)
- 7 Existing opening to the staircase to be retained with glazed panels fixed to provide natural light source to staff room and visual connection to exterior in order to aid navigation
- 8 Existing windows / doors are to be removed from existing openings and either replaced or the opening is to be filled to suit proposals indicated on elevation drawings

Note: The internal fabric of the building is to be retained as far as possible with only minimal demolition being proposed to allow the programme of spaces to be implemented. The internal fabric is to be exposed and celebrated where possible although the potential use requires certain critical spaces to satisfy hygienic standards meaning that some elements will be hidden



- Rev 4 2022.11.09 Principal elevation updated to suit comments from LA (Conservation Officer)
- Rev 3 2022.06.21 Minor internal alterations, window notes updated Drawing updated to 'Planning Issue' status
- Rev 2 2022.02.21 Key Design Strategies note / references added
- Rev 1 2022.02.09 Internal layout updated following review with Client

C1096 111 Rev 4

TITLE PROPOSED DRAWING
 BUILDING 1
 PLAN; FIRST FLOOR LEVEL

SCALE 1:50 @ A1 / 1:100 @A1

PRELIMINARY

PROJECT REFURBISHMENT OF NETHER MILL BARN
 (GRADE II LISTED BUILDING)
 TO FORM NEW VETERINARY SURGERY
 BARNESLEY ROAD
 PENISTONE
 S36

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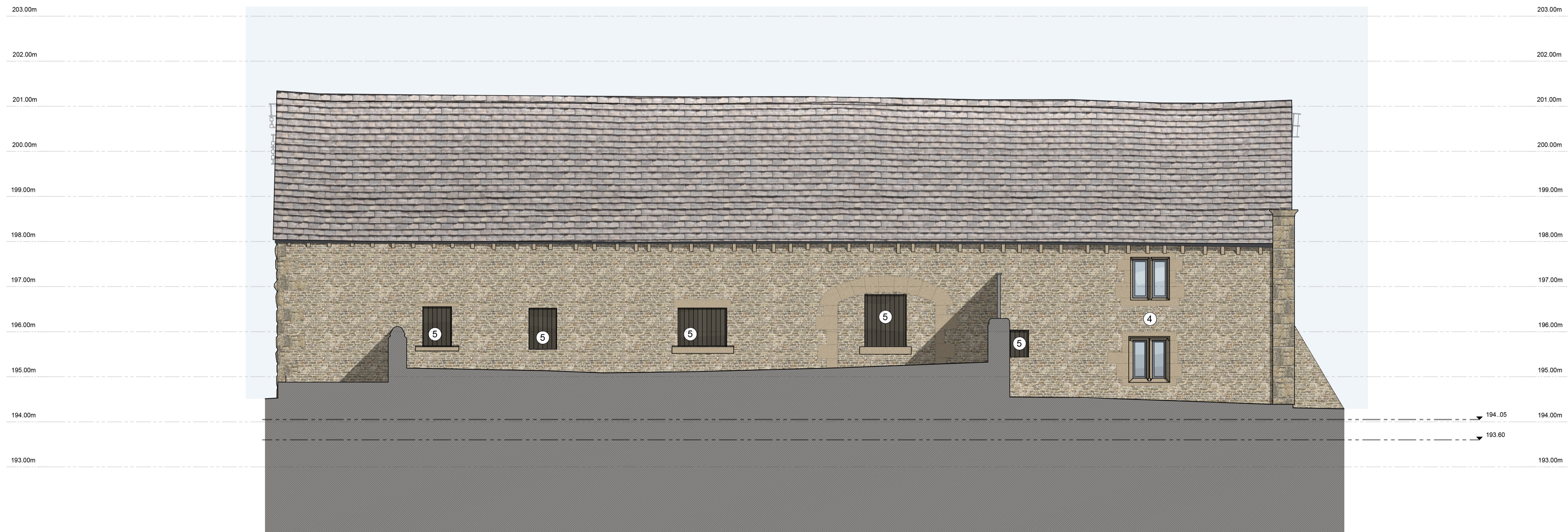
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- Drawing Notes:**
- 1 New contemporary addition to Principal Elevation (facing south east) comprising window opening (fixed glazing panels) and natural stone surround (jamb, head and sill)
 - 2a Existing opening and stonework to each side to be retained with new glazed panel added (fixed)
 - 2b New openings to be formed to reflect the proportions of the adjacent original opening with new glazed panels to be added (fixed)
 - 2c Existing stonework to be reduced and rebuilt with 25mm set back to emphasise the proportions of the openings
 - 3 Salvaged / reclaimed stone cills and heads to be fixed to all openings
 - 4 New contemporary addition to Principal Elevation (facing south east) to infill existing recess and allow the original building form to be read on completion
 Infill to comprise zinc panels and panelled frame with aluminium framed, glazed entrance doors and level threshold to allow access for all
 150mm high basecourse to be constructed below zinc panel infill using stonework which has been salvaged from adjacent duntaking and dressed for re-use
 - 5 Existing windows which are to be replaced are to receive new aluminium framed double glazed units having fixed / opening casements as indicated
 - 6 Existing windows which are to be infilled are to utilise timber panels (close boarded)
 - 7 New roof light windows
 - 8 Existing doors which are to be replaced are to receive new timber framed close boarded timber doors
 - 9 New lettered signage to contemporary addition (1)



Rev 3 2022.11.09 Principal elevation updated to suit comments from LA (Conservation Officer)
 Rev 2 2022.09.26 New contemporary addition to principal elevation (1) updated to express the left hand corner of the building
 Rev 1 2022.06.21 Entrance area / glazed panel design updated following Pre-application Enquiry comments from LA

C1096 201 Rev 3

TITLE PROPOSED DRAWING
 BUILDING 1
 ELEVATIONS (SHEET 1 of 2)
SCALE 1:50 @ A1 / 1:100 @ A3

PRELIMINARY

PROJECT REFURBISHMENT OF NETHER MILL BARN (GRADE II LISTED BUILDING) TO FORM NEW VETERINARY SURGERY
 BARNESLEY ROAD
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Drawing Notes:

- 1 New contemporary addition to Principal Elevation (facing south east) comprising zinc panelled frame with fixed glazing panels and natural stone window seat
- 2 Existing stonework between retained elements is to be rebuilt following dewatering (see Dawson Williamson Ltd Drawing Ref: C1096 052 for additional notation)
 Existing stonework is to be salvaged, dressed and used in the reconstruction of this element
- 3 New contemporary addition to Principal Elevation (facing south east) to infill existing recess and allow the original building form to be read on completion
 Infill to comprise zinc panels and panelled frame with aluminium framed, glazed entrance doors and level threshold to allow access for all
 150mm high basecourse to be constructed below zinc panel infill using stonework which has been salvaged from adjacent dewatering and dressed for re-use
- 4 Existing windows which are to be replaced are to receive new aluminium framed double glazed units having fixed / opening casements as indicated
- 5 Existing windows which are to be infilled are to utilise timber panels (close boarded)
- 6 New roof light windows
- 7 Existing doors which are to be replaced are to receive new timber framed close boarded timber doors



- Rev 3 2022.11.09 Principal elevation updated to suit comments from LA (Conservation Officer)
- Rev 2 2022.09.26 New contemporary addition to principal elevation (1) updated to express the left hand corner of the building
- Rev 1 2022.06.21 Entrance area / glazed panel design updated following Pre-application Enquiry comments from LA

C1096 202 Rev 3

TITLE PROPOSED DRAWING
 BUILDING 1
 ELEVATIONS (SHEET 2 of 2)
SCALE 1:50 @ A1 / 1:100 @ A3

PRELIMINARY

PROJECT REFURBISHMENT OF NETHER MILL BARN
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