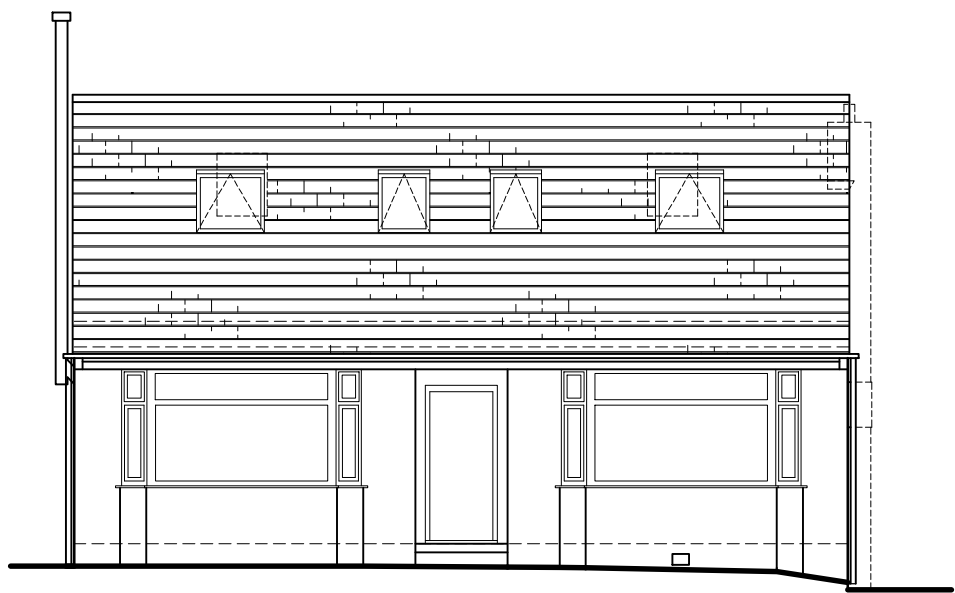
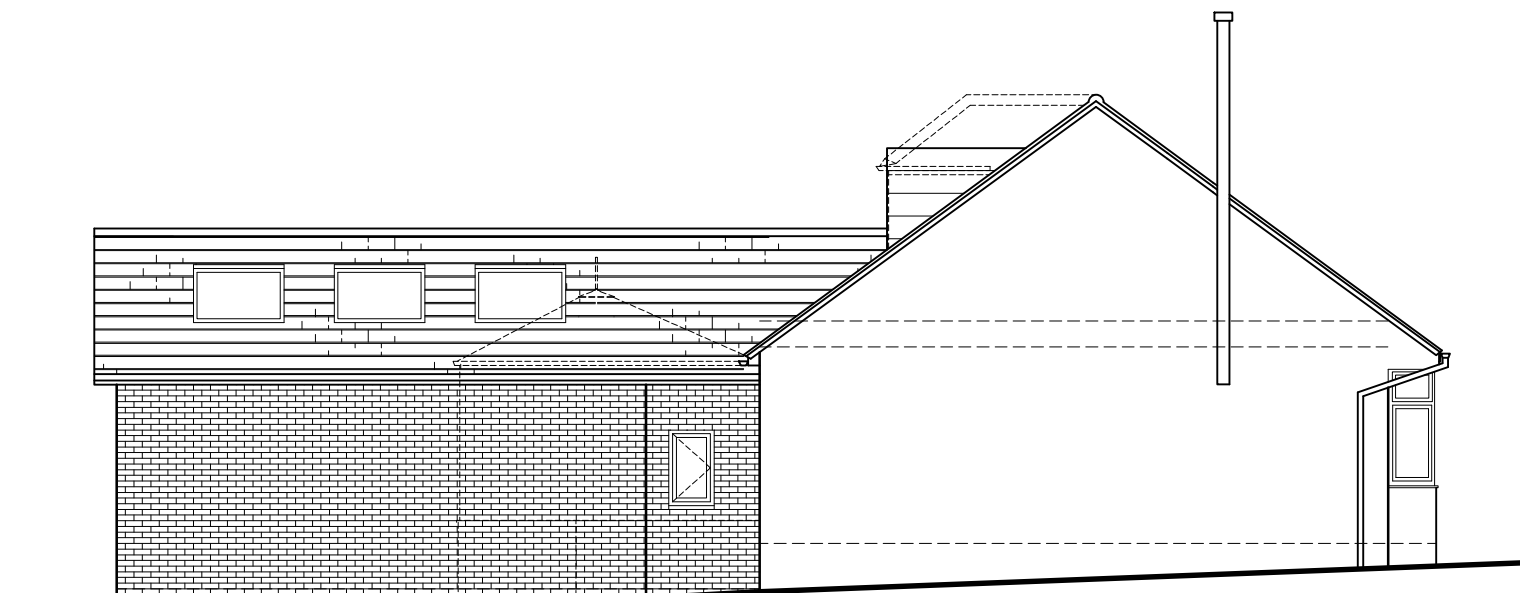




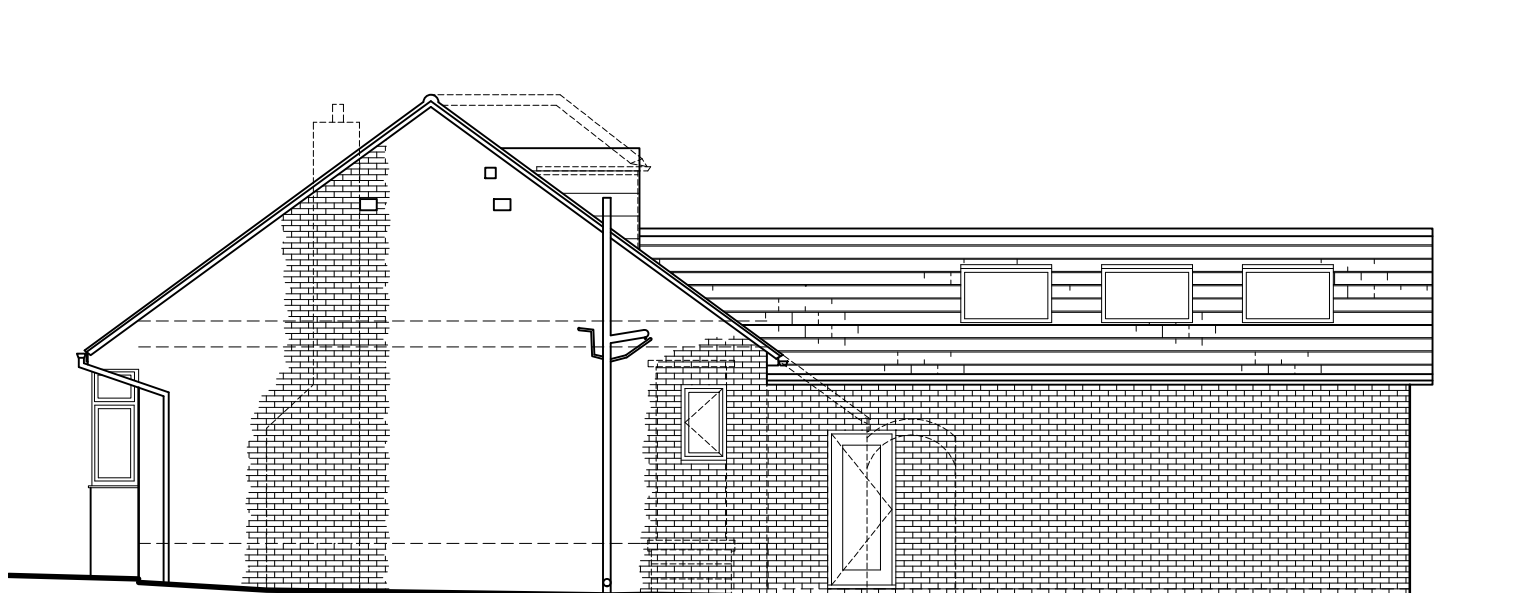
proposed south (front)
elevation
scale 1:100



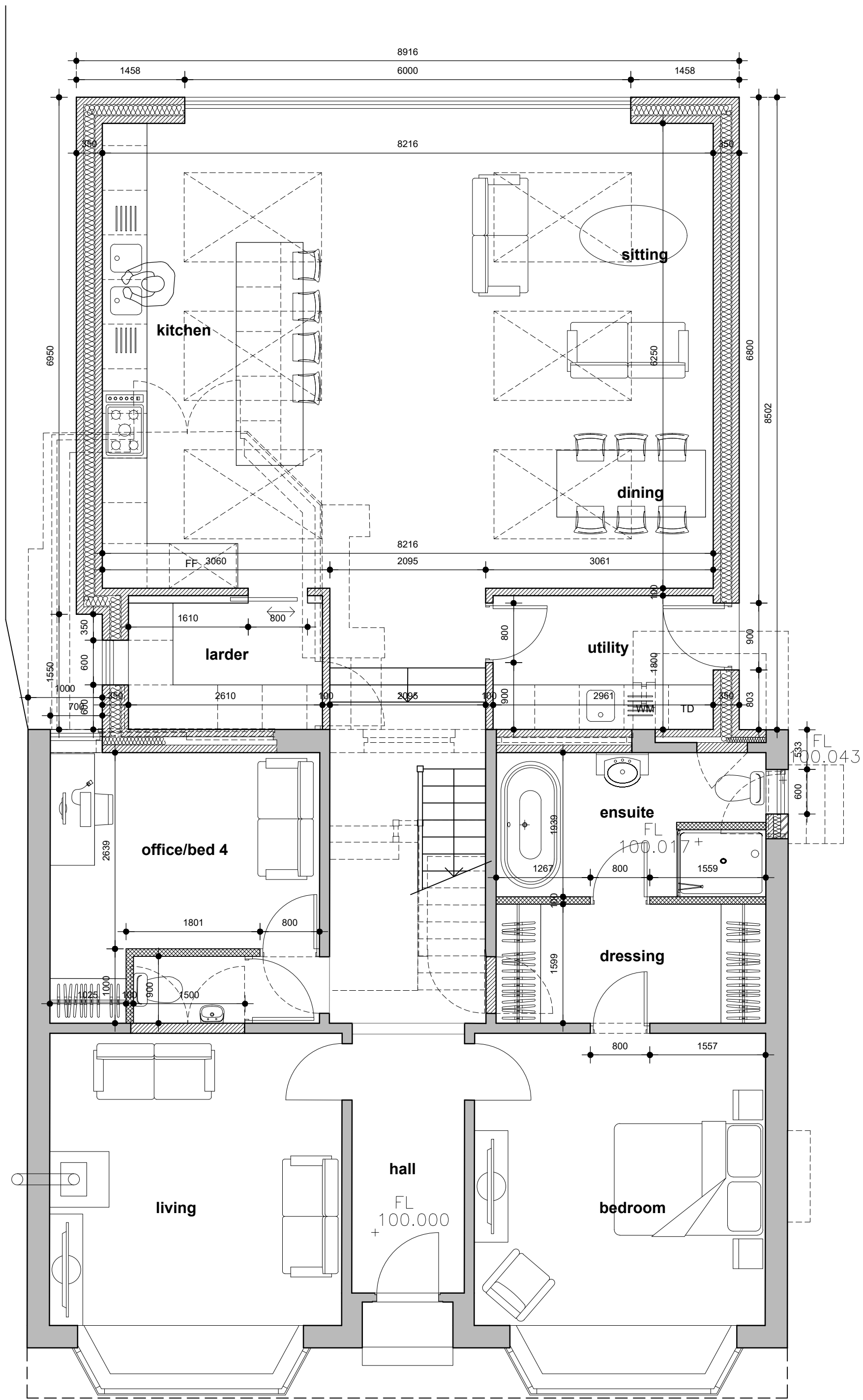
proposed west (side) elevation
scale 1:100



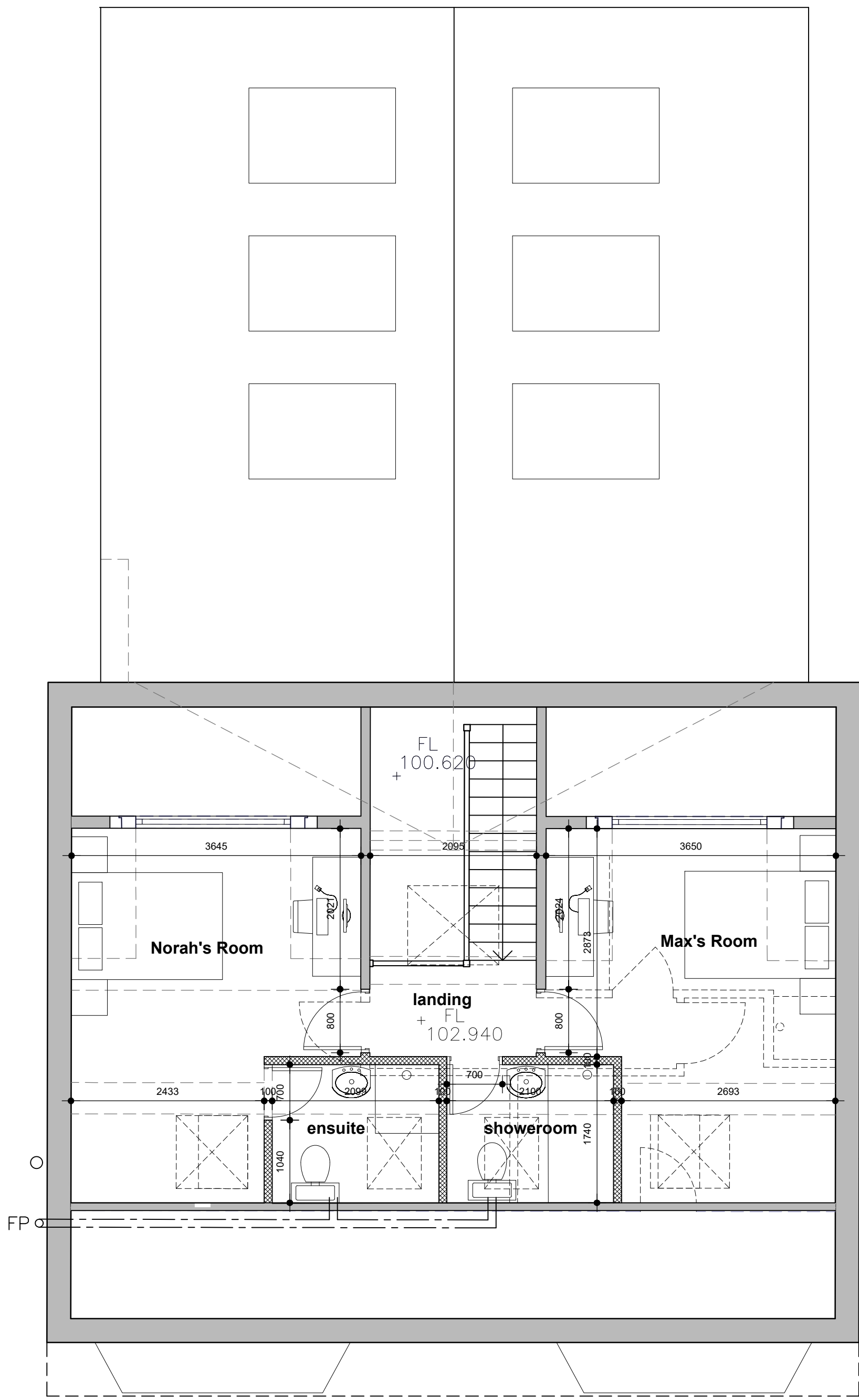
proposed north (rear)
elevation
scale 1:100



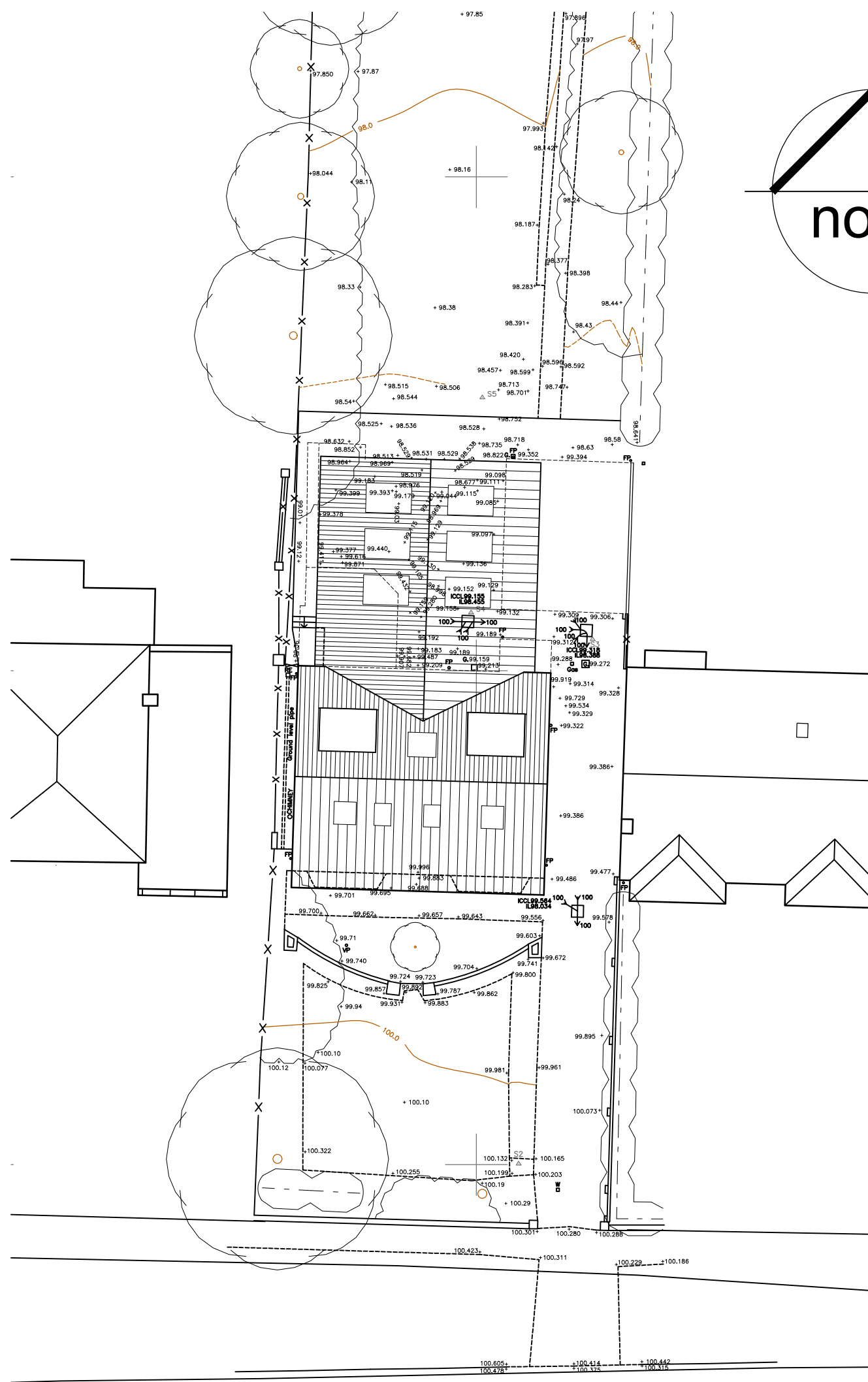
proposed east (side) elevation
scale 1:100



proposed ground floor plan
scale 1:50

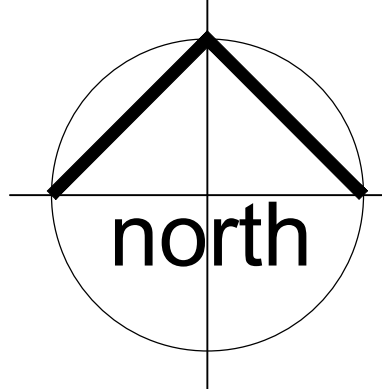


proposed first floor plan
scale 1:50



proposed part site plan
scale 1:200

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- Client to confirm all legal boundaries at and before any works are commenced on site - all boundaries shown are indicative.
- It is the responsibility of the owner / client to serve a notice on the adjoining or adjacent neighbours for the proposed works under 'The Party Wall Act 1996' Explanatory booklets can be obtained free of charge from <https://www.gov.uk/government/publications/preventing-and-resolving-disputes-in-relation-to-party-walls>
- Figured dimensions are taken to structure unless indicated otherwise.
- Report any discrepancies to 7hills Architectural Design Ltd immediately for verification.
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- All drawings are to be read in conjunction with the relevant Structural Engineers / Consultants details / drawings.
- These drawings are prepared for the purposes of obtaining Town & Country Planning permission and or Building Regulations only.
- All materials shall be fixed, applied or mixed in accordance with all of the manufacturers instructions, recommendations and specification. All materials shall be suitable for the purposes of use.
- The contractor shall take into account everything necessary for the proper execution of the works and to the satisfaction of the Building Inspector, whether or not indicated on the drawings or in the specification.



location plan
scale 1:1250

DRAWING TITLE
**PROPOSED FLOOR
PLANS & ELEVATIONS**

PROJECT
EXTENSIONS
AT
24 DOVECLIFFE ROAD
WOMBWELL
BARNESLEY, S73 8UE
FOR
MR & MRS N. TURNBULL

PROJECT NO	DRAWING NO	REVISION	
380	02	-	
SCALE (A1)	DATE	STATUS	DRAWN
VARIES	MAY 2025	PRELIM	NT

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