

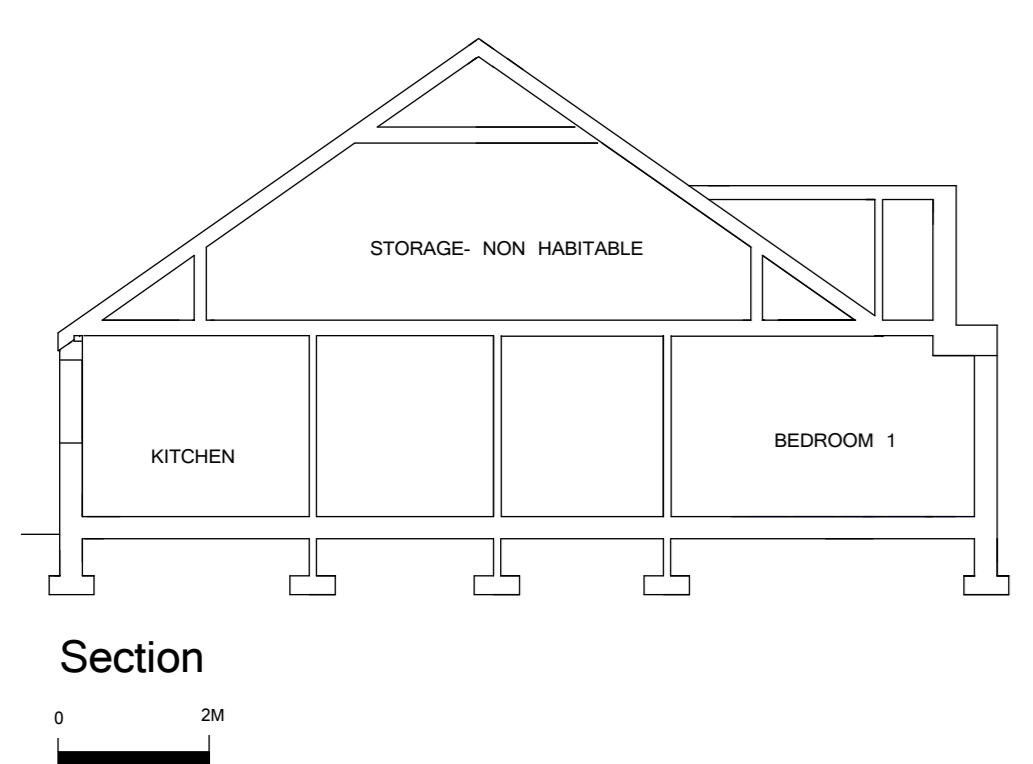
**Notes**

**Walls**  
 Stonemasonry brick To Be Agreed With Planning Officer  
 stone heads  
 projecting stone cill

**Roof**  
 Birkdale or Thruone  
 conservation rooflight  
 Steel Mesh Cast Or Stoneguard Aluminium  
 Half Round Gutter

**Windows**  
 Residence Collection Or Similar  
 Uprc Flush Fitting Casements  
 Detailing To Be Requested Across Window Types.  
 Windows Set Back 50mm In Reveal  
 RAL Number To Be Agreed

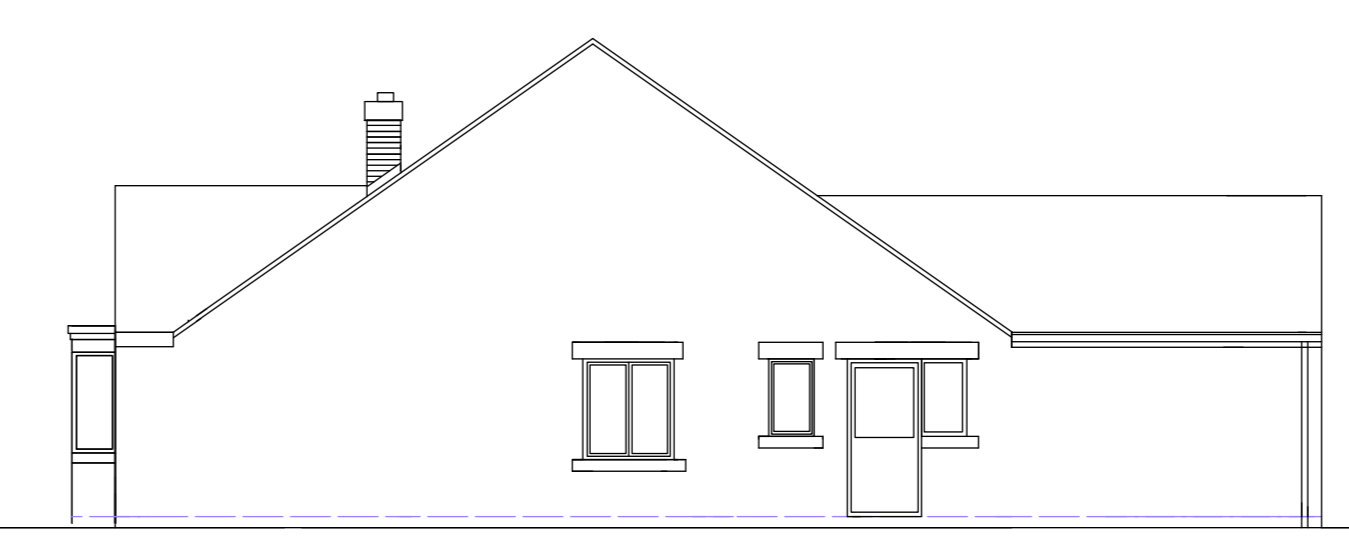
All Soil And Vent Pipes To Be Internal



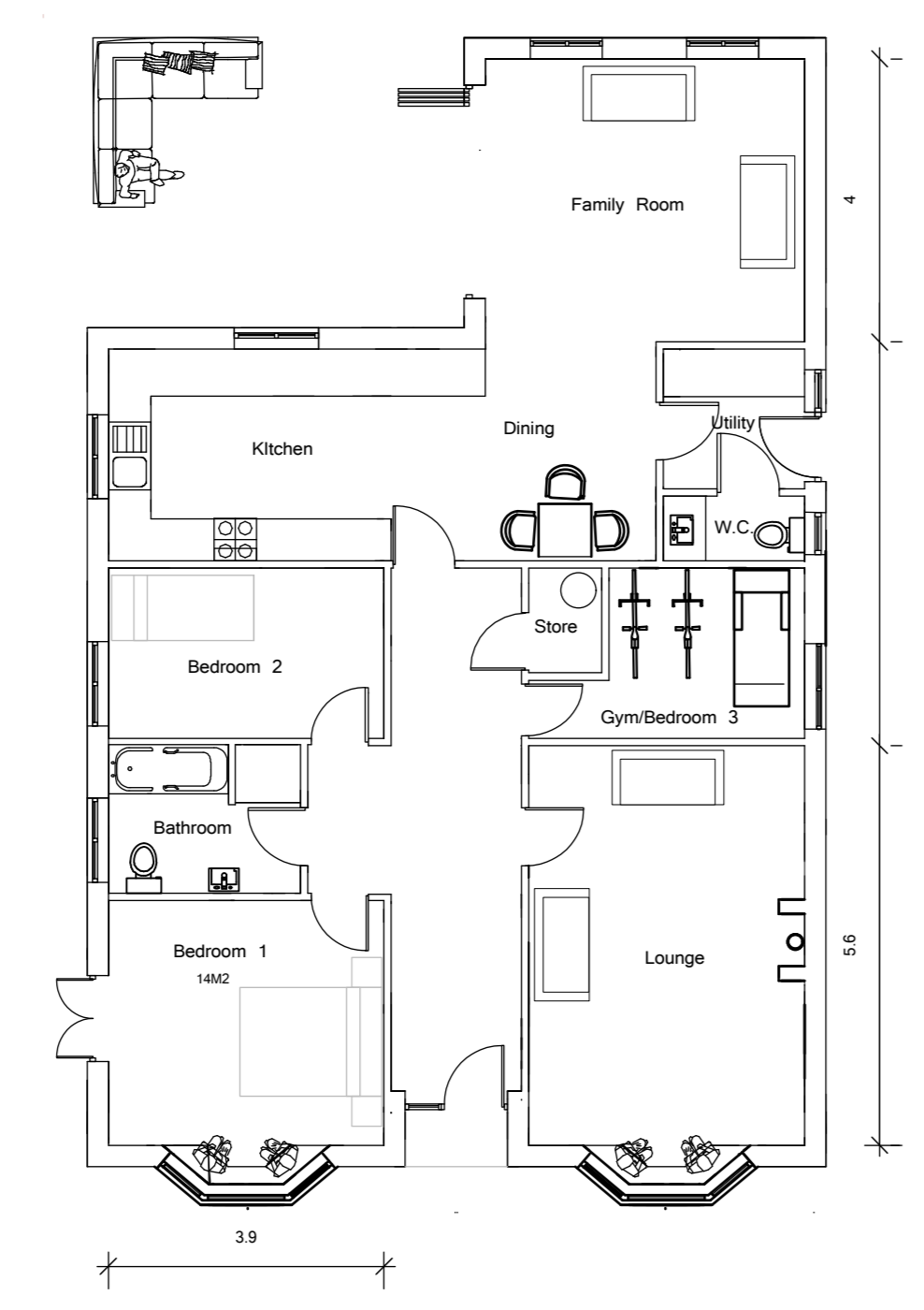
East (front) Elevation



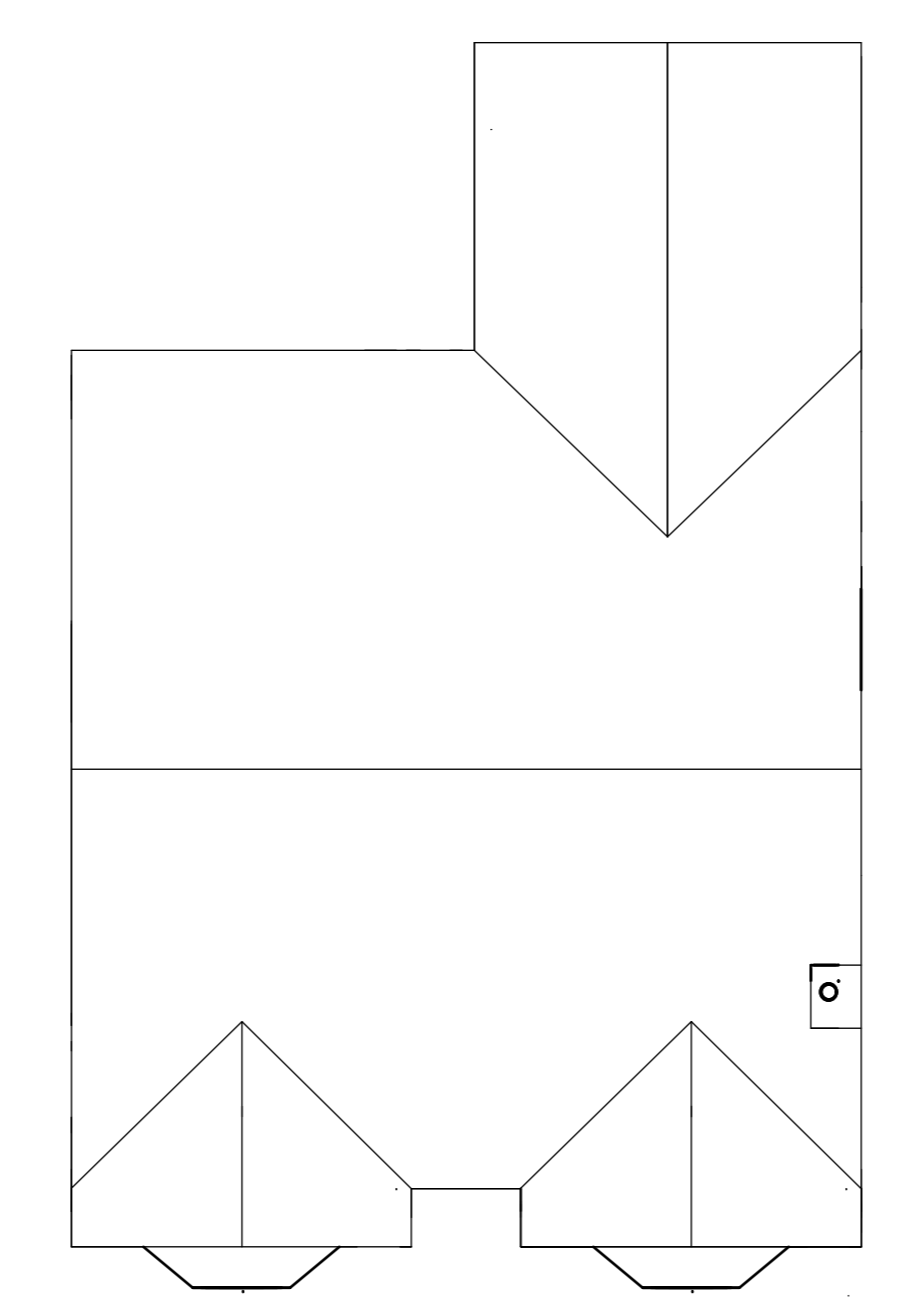
South Elevation



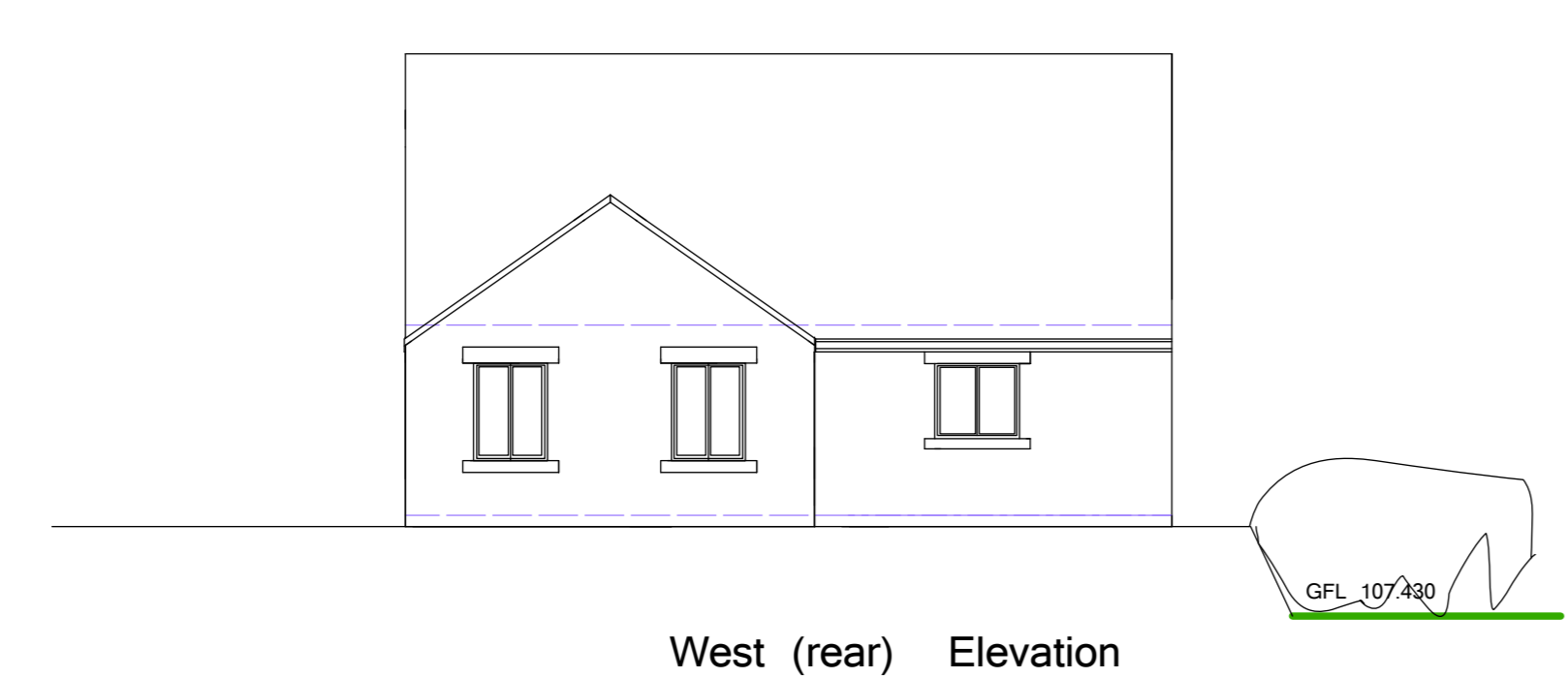
North Elevation



Ground Floor Plan



Roof Plan



West (rear) Elevation

**Notes/Advisories**

<p>No Dimensions To Be Scaled From This Drawing Which Is The Property Of The Company AND, LTD. It Is Not To Be Used Or Divided In Any Way Except As Authorised By The Company</p> <p>The Author AND, LTD. Owns All Intellectual Property Rights Including The Copyright In The Drawings And Documents Produced In Fulfilling The Services And Generally Assesses The Architect's Moral Rights To Be Identified As The Author Of Such Work. No Part Of Any Design By The Architect May Be Registered In The Client's Name Without Consent Of AND, LTD.</p>	<p>This Drawing Will Not Be Assigned To Any Third Party.</p> <p>The Client Is Responsible For Providing The Architect With The Current Site Boundary/Ownership Definitions And Any Consents Or Easements Relating To The Site. AND, LTD. Will Assume No Liability As Clearly Defined/Defined Unless Otherwise Indicated By The Client.</p> <p>No Work To Be Carried Out Without Planning Permission. Use Of All Site Planning Conditions Must Be Discharged And Sited A Building. Regulation Application Has Been Submitted And All Council Conditions Relating To Planning Approval Has Been Granted and any conditions discharged will be Sited At Client's Own Risk.</p>	<p>Principal Contractor/Developer manager is Responsible For Ensuring Works Are Signed Off And Certificate Of Completion Is Issued By Building Control.</p> <p>Any Building Works within 6m Of A Neighbouring Property Foundations May Require You To Notify The Owner Of That Property Of Your Intention At Least One Month Before The Start Work. Work To Be Carried Out Within 12 Months From The Start Of Work. 12 Months Notice Of Your Intention To Carry Out Work Cannot Be Provided. Provisions Creating Such A Dispute Should Be Followed (See Party Wall Act 1996).</p>	<p>It Is The Responsibility Of The Principal Contractor To Notify The Author Of The Drawing If He/She Is In Doubt As To If It Is Drafted As:</p> <p><b>ALL WORKS MUST COMPLY WITH GBM 2015</b></p> <p><b>NO CAD DRAWINGS WILL BE ISSUED TO ANY THIRD PARTY !!</b></p>
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**Ground Floor Plan**

REV	REVISION NOTE	DATE	BY	DRAWN BY
A		25.09	AB	

<p><b>Andrew Bailey</b></p>	<p>PADDOCK ROAD</p>		<p>PHASE 2-3</p>	
	<p>CLIENT: RIB PROPERTIES LTD   501 AND 502 CHORLEY</p>	<p>DATE: 25.09.2024</p>	<p>SCALE: 1:100 (A1)</p>	<p>REV: A</p>
<p>DRAWING TITLE: PLANS AND ELEVATIONS</p>	<p>DWG NO.: 20240925-01</p>	<p>DESIGNER: ANDREW BAILEY</p>	<p>DRAWN BY: AB</p>	<p>CHECKED: JMS</p>
<p>RIBA 04</p>	<p>WORK STAGE: 3 - DEVELOPED DESIGN</p>			

<p>AND, LTD                  85 LUNDRELL ROAD, WOODHILL, BARNLEY, S73 5RL                  T: 01634 703000 E: ANDREW@BAILEYPROPERTIES.CO.UK OR WWW.BAILEYPROPERTIES.COM</p>	<p>© COPYRIGHT © 2024 AND, LTD                  ALL RIGHTS RESERVED</p>
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