

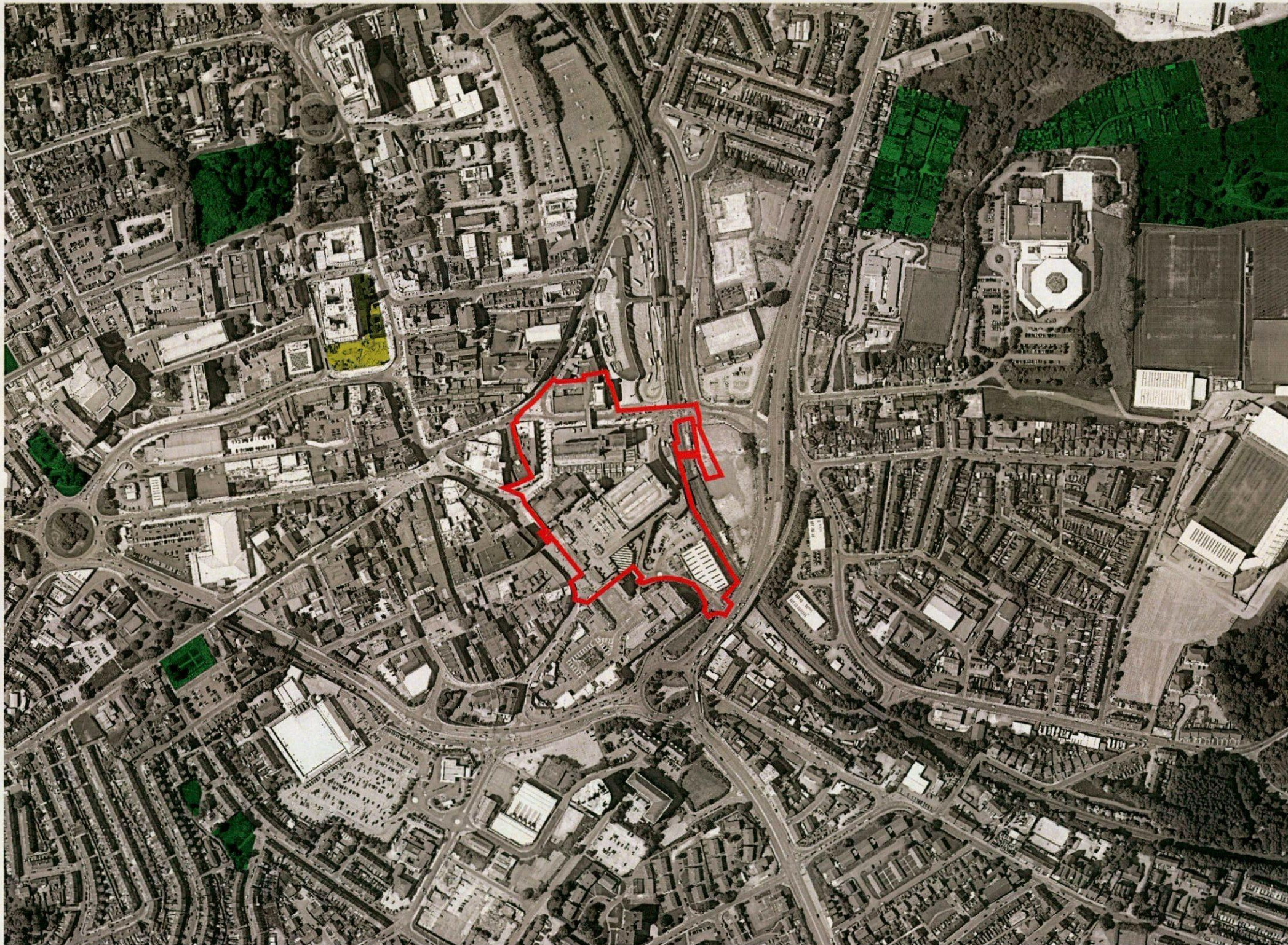
Site opportunities

In terms of overall strategy for the development, there is an opportunity to break up and remodel the Metropolitan Centre - to undo what the vehicular centric thinking of the 1960's delivered. Rationalising the building arrangement, improving the public realm and connectivity to the town will vastly improve the enjoyment of the area and encourage greater pedestrian flow into the area.

The existing development, whilst having a number of points of access, lacks the permeability required to encourage the pedestrian flow and activity one might expect of such an important element within the town centre.

Visual permeability is an essential requirement for the new development, to open the links through to the south side of the town towards Lambra Road in addition to increasing its street frontage and creating a richer, more dynamic streetscape.

- Key**
- Site
 - Retain Market
 - Service Area
 - Parking Provision
 - Public Realm
 - New Development
 - Site
 - New Routes / Axis
 - New Frontage
 - New Pedestrian Links
 - Views



Space - Open Space and Public Realm

Like many northern former industrial towns and cities, Barnsley has little green space and relies very much on its 'urban space' for public realm.

An important, and very successful, example of this is the public realm around the Town Hall. This space is popular and well used as a result of good consideration of orientation, planting, hard landscape treatments and street furniture.

Another example is Cheapside. It's width and the low height of the buildings on its edges give it a pleasant atmosphere that is currently not matched by the architecture that defines it's edges.

The adjacent image illustrates how a new square within the town centre would be a welcome addition right at the heart of the town centre.

Key

- Site
- Green Space
- Urban Space



Character Areas

The Local Plan describes the town as a series of 'character areas' as illustrated on the adjacent diagram.

The town centre development site is located within 'The Markets Area' and is bounded to the north west by the conservation area, the north east by 'The Eastern Gateway' and to the south by 'The Yards'.

The proposals aim to engage with the character area designation towards giving 'The Markets' a much more coherent and recognisable identity.

Key

- Site
- Conservation Area
- Town Centre Boundary
- Character Areas:
- 'The Yards'
- 'The Markets Area'
- 'Eastern Gateway'
- 'Couthouse Campus'
- 'Southgate'
- 'Southern Fringe'
- 'Market Hill'
- 'Westgate / Churchfields'
- 'The Lanes'



Key Urban Design Objectives

The above urban design and site analysis resulted in the framing of a series of key Urban Design Objectives which the subsequent Reserved Matters applications should address. These are structured around four themes of:

Movement

Enhance the movement network. Connections east and south have historically been limited within the town centre with the Metropolitan and Alhambra Centres, the railway and ringroad all forming a considerable barrier. The proposals should address this by introducing new routes wherever possible.

Create a distinction between service zones and areas of activity.

The proposals for the Town Centre should ensure that vehicular and pedestrian areas are clearly defined. It is desirable to create routes through the site by ensuring that pedestrian desire lines are recognised.

Space

Creation of a principal open space supported by associated linking spaces and uses. Recognition that new open spaces in the town centre can provide the opportunity for pause points and activity focal points, enhancing the experience of moving through the spaces.

Define public realm of consistent high quality that also provides a setting for contributory public art. Public realm, incorporating open space will be the 'adhesive' that brings all of the diverse uses together. It is important therefore that a consistent pallet of high quality materials and street furniture is utilised in order to allow different spaces to work as a whole entity. The landscape strategy alongside the hard urban elements must add strength to the sense of place that can be created in town centre neighbourhoods.

The scale and quality of landscape must match that for the buildings. Barnsley Town Centre should have an over-riding quality and identity that will come from the unity of built and spatial form.

Form

Strong built form on to frame the market square. It is important to the success of the square to clearly define its edges with appropriately scaled buildings that contain uses that will animate the square throughout the day.

Provide opportunity for transitional views and gateway presence

The proposals offer an opportunity to create a sense of arrival and gateway into the town from a number of vantage points and transport modes. These opportunities should be defined with key buildings, increased height and open space.

Achieve a diverse skyline that also frames views into the town

The proposed town centre skyline should have an impact beyond the site boundary. It is important that proposals respond to already the varied skyline with a diversity of form that recognises its context and history.

Provide new buildings of architectural quality that define existing vistas and terminate views.

View points already exist to and from the perimeter of the site. The new proposals could give the potential to terminate and extend these views with new vistas and significant buildings. As detailed proposals come forward under Reserved Matters applications, these opportunities need to be defined in detail.

Use

Create a mix of viable uses that support the physical form which the Town Centre opportunity demands. It is important to promote a mix of uses that fully accounts for the commercial imperative of the development but which also generates a populated and active neighbourhood in the town. How the new uses relate to existing boundary forms and activity will be very important.

Promote good natural surveillance through active ground floor uses along principal pedestrian routes.

Activity at ground floor level should be encouraged throughout the Town Centre proposals. This could include retail and A3/bar type uses that should also provide for activities and overlooking of public open spaces thereby achieving the desired natural surveillance.



5. Heritage Impact Assessment



Introduction

In support of this Outline Planning Application and in accordance with Paragraph 128 of the National Planning Policy Framework (NPPF), a general assessment of the impact of the proposed development on heritage assets and their setting is provided in the following 'Heritage Impact Assessment'. The amount of detail provided in this statement is proportionate and reflects the outline nature of the application. However, it is recognised that the overall proposal site forms part of the setting of a number of heritage assets. As such more detailed assessments of these settings and how individual proposals have taken them into consideration will be included in the associated Reserved Matters applications for each site.

The archaeological value of the site is not considered in detail within this statement. However detailed desk top studies have been completed and submitted as supporting evidence in previous applications associated with the redevelopment of the town centre. It is however noted that due to the significant development and redevelopment of the site between the early nineteenth century and the 1970's, it is highly likely that little remains of archaeological value. Further discussions will be held with the South Yorkshire Archaeological Service to define any further detailed studies required to support the proposed development.