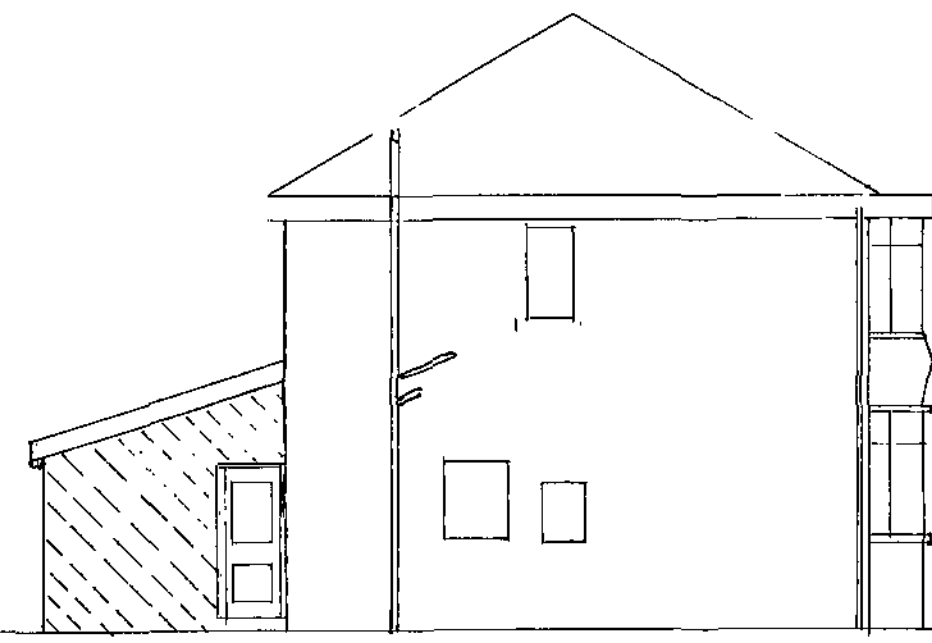
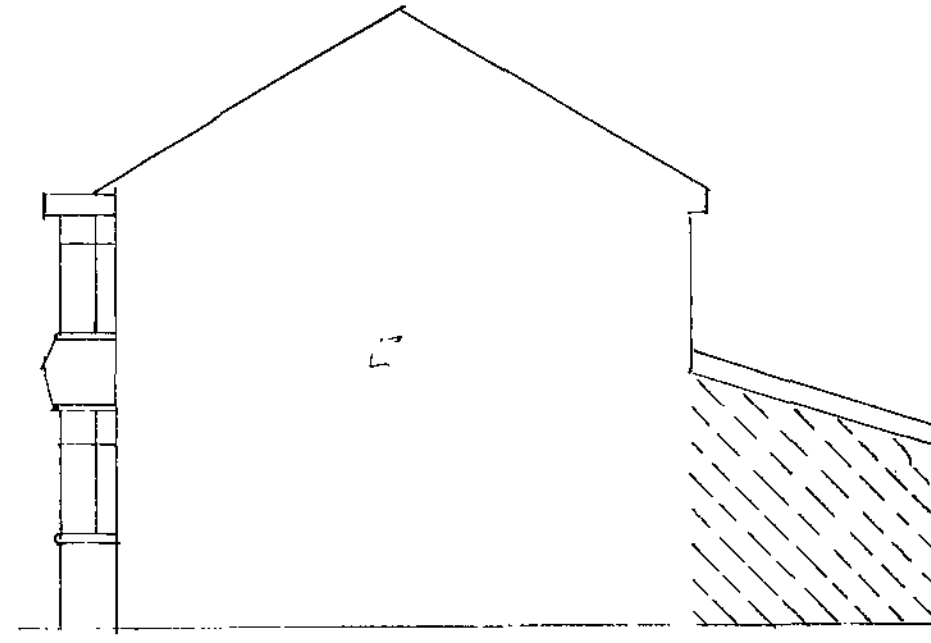


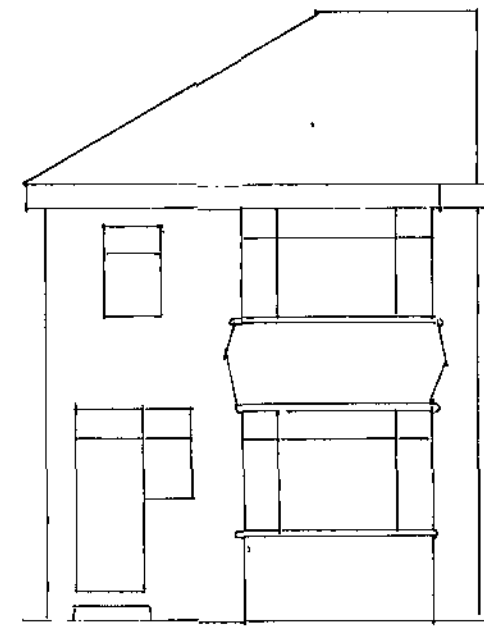
Prop Rear



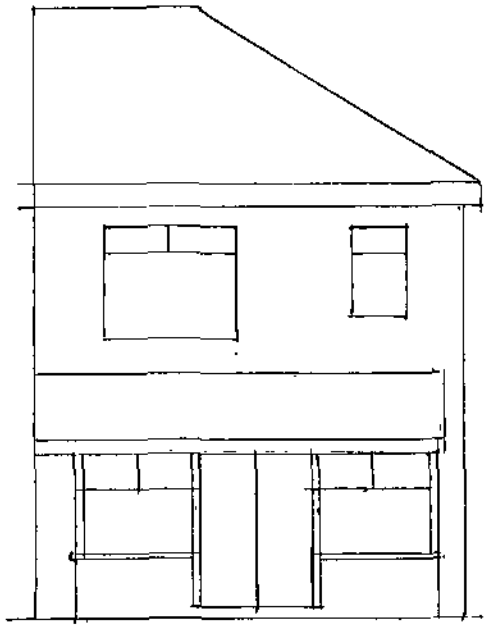
Prop Side



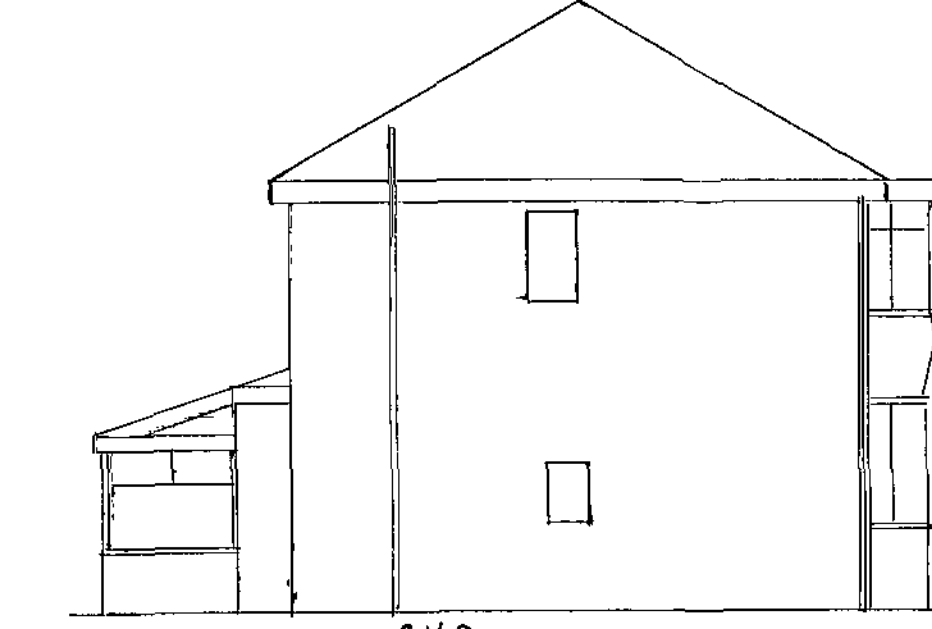
Prop Closed Side



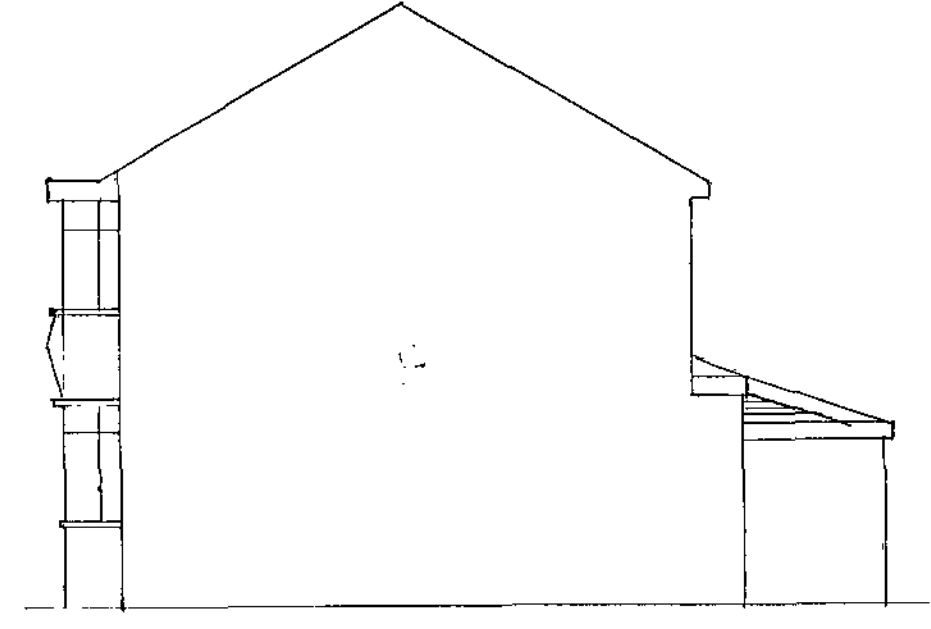
Pres Front



Pres Rear



Pres Side



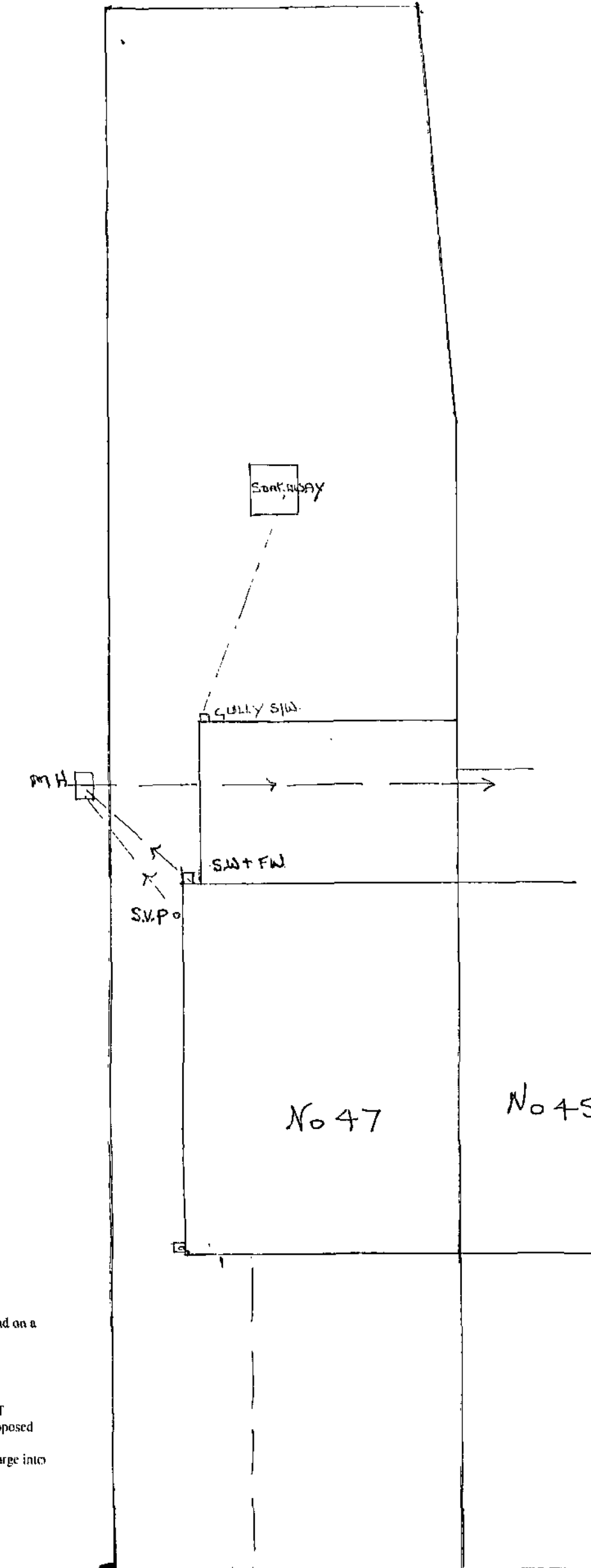
Pres Closed Side

**Additional Information**

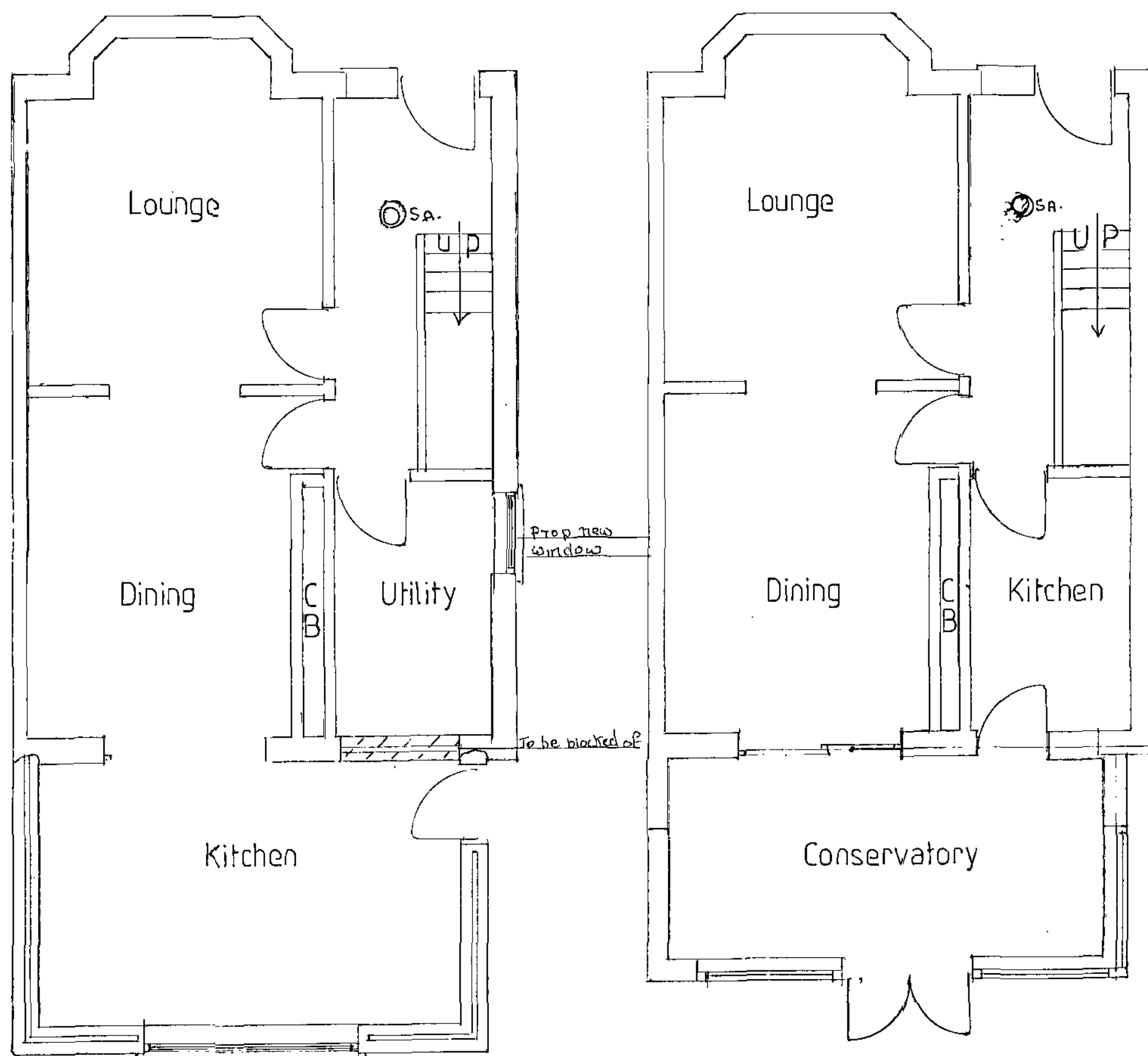
The present and proposed extension finishes above the smaller extension at no 45. This includes the Range Hood and Soffit to be installed as at present. The proposed cavity wall will butt up to the adjacent extension at no 45.

**Smoke Alarms** as shown, electric and on a private fuse with battery backup and to reset simultaneously.

**Drainage**  
New soakaway to be provided a minimum of 500mm away from all buildings to take proposed SW.  
All present and foul water drainage to discharge into present system.

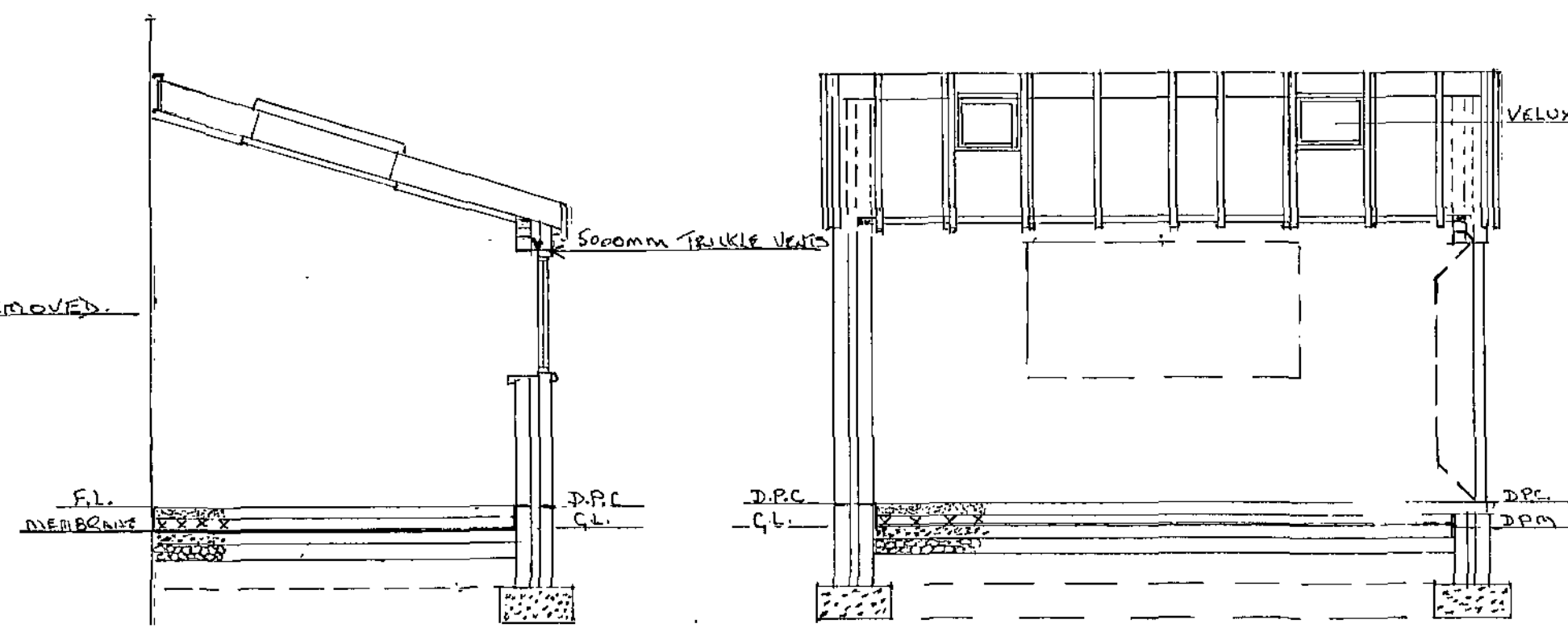


**CMR**  
19 JUL 2008



Prop G.F.

Pres G.F.



End Section

Front Section

**Electrical Works**

To be carried out to the latest approved document P. To be designed / installed and tested by a competent person. If not adequate to satisfy BCO a certified certificate may be asked to be provided after installation. If not an application is to be made to BCO.

**Heating**  
To be extended and all radiators to have thermostatic control valves fitted.  
All the heating and plumbing works are to be carried out by Corgi registered persons.

**Drainage**  
As detailed on site plan.  
All foul and surface water is to feed into present systems.

**Services** any gas supplies to be installed to the Board specifications and regulations.  
No cables to pass through or be covered by insulation.  
All water supplies to be fitted to Water Board specifications and regulations.

**SPECIFICATIONS**

The present conservatory is not up to standard so is to be demolished and the proposed kitchen extension is to take its place in the same position in width.

**Wall Constructions**

External walls to be 300mm cavity wall construction having 100mm matching brickwork. Minimum of 100mm cavity filled with 100mm Rockwool / Dritherm.  
Inner skin to be built with Thermacore or Celcuc blockwork.  
Walls to achieve a U value of 0.30 W/M2 K.  
Vertical twist S/S wall ties at 750mm centers horizontally and 450mm centers vertically but and with 225mm centers vertically at reveals and within 150mm from openings. Reveals to be closed with Durocor or Polycore or the equivalent. Cavity heads and sills to be closed with stuffed in insulation quilt. 3mm plaster skim on 12.5mm plasterboard dry lining. (Dab fixed). Heads and sills are to match existing.  
Cavity lintels CN 146  
All DPC to be installed a minimum of 150mm above finished ground level. New walls to be tied into present walls by alternate courses. Continuous cavities are to be kept to prevent cold bridging.

**Foundations & Ground Floor**

600x300mm concrete strip foundations under 300mm walls, and any drains passing through the walls are to be finished over with reinforced concrete lintels.  
Concrete trench blocks below ground level if acceptable.  
Ground floors to be 75mm minimum sand and cement screed onto 70mm Kingspan Kooltherm K3 onto 2000 grade DPM lepped into DPC onto 100mm concrete onto 150mm sulfate free hard-core.

**Roof Construction**

U value 0.16 W/M2K Approved matching tiles, to be nailed and all to be fitted to manufacturer recommendations. Onto 38x25mm SW battens on unventilated roofing felt F. Onto 200x50mm rafters @ 600mm centers. 200x50mm ridge boards bolted to wall @ 600mm centers. All rafters are to be securely fastened to ribs and to bare onto 100x50mm wall plate and be securely fastened together. Wall plate to be strapped with 30x5mm M/S straps at 1800mm centers with a minimum drop down wall of 1000mm. 230mm fibre-glass insulation to roof space 150mm between joists and 100mm across.  
Minimum air intake gap 50mm. Continuous 25mm vermin proof soffit vents to be installed and high roof vents equivalent to 25mm continuous laterally. Fascia / barge boards and Soffit to match the present.  
Eaves ventilation trays to be installed.  
Code 4 lead flashing with 150mm up stand and 225mm apron as required.  
Cavity trays to be installed above roof abutment.  
2 Velux windows to be installed with double rafters to each side and trimmers to head and feet.  
Insulate with 90mm Kingspan Kooltherm K7 between rafters with 32.5mm Kingspan Kooltherm K18 across face and then cover with 12.5mm plasterboard and skim.

**Restraints**

30x5mm galvanized MS straps for lateral restraint at 1500mm centers at eaves and floor levels over 3 in number 100x50mm joists. This also applies to any gable walls to rafters / trusses and joists.

**Windows & Doors (Exterior)**

UPVC frames to match existing with double glazed units to be used, minimum gap to be 16mm. Soft low E coated glazing and tempered safety glazing to doors / side panels and to all glazing within 800mm of floor level. Window openings to be a minimum of 5% of floor area for ventilation. All living areas to have 8000mm trickle vents and 4000mm to wet areas. All external doors to have night vents fitted to be fully sealed and all to achieve a U value of 1.80 W/M2K.  
Escape windows to have a full clear opening of 90 degrees, 700mm high and 450mm wide minimum for fire escape purposes.

**Bathrooms & Kitchens as appropriate**

All toilets to have 100mm PVC wastes and taken into 100mm SVP as shown and this to terminate 900mm above all window openings. Baths and showers to have 40mm PVC waste pipe and Anti-vac 75mm deep seal traps. Wash basins to have 33mm waste pipe and Anti-vac 75mm deep seal traps, both to enter SVP above toilet entry or below not within 200mm. Extractor fan to be capable of 15L/sec with 15mm overrun connected to light switch. Ditto to all toilets and En-suites Waste to be taken under or above floors to SVP and all extractor fans to be ducted out to outside air. Any underground Pipe-work to pass through walls to be finished over with Naylor concrete lintels.  
Kitchen sinks have 40mm waste pipes and Anti-vac deep seal traps (PVC) also to discharge into back fill gully or into SVP. All kitchens and utility rooms are to have extractor fans capable of 60L/sec and equivalent cooker hoods. All kitchen fittings / fanhoods are to be industrial type and units to be in stainless steel.

Proposed Rear Kitchen Extension for  
Mr R Jackson  
47 Limes Way  
Gawber  
Barnsley

Scale 1-50 1-100