

2024/0512

Faye & Ryan Hallsworth

16 Assembly Way, Dodworth, Barnsley, S70 6EA

Single storey rear/side extension

Site Description

The application relates to a semi-detached dwelling on a residential street, Assembly Way within the Kingstone area. The property is constructed of red brick with a tiled pitched roof. The surrounding area is characterised by a mixture of detached, semi-detached and terraced housing, common on a newly built site. Surrounding materials consist of grey tiled roofs matching the site dwelling with a variation of either red bricked or stone dwellings.



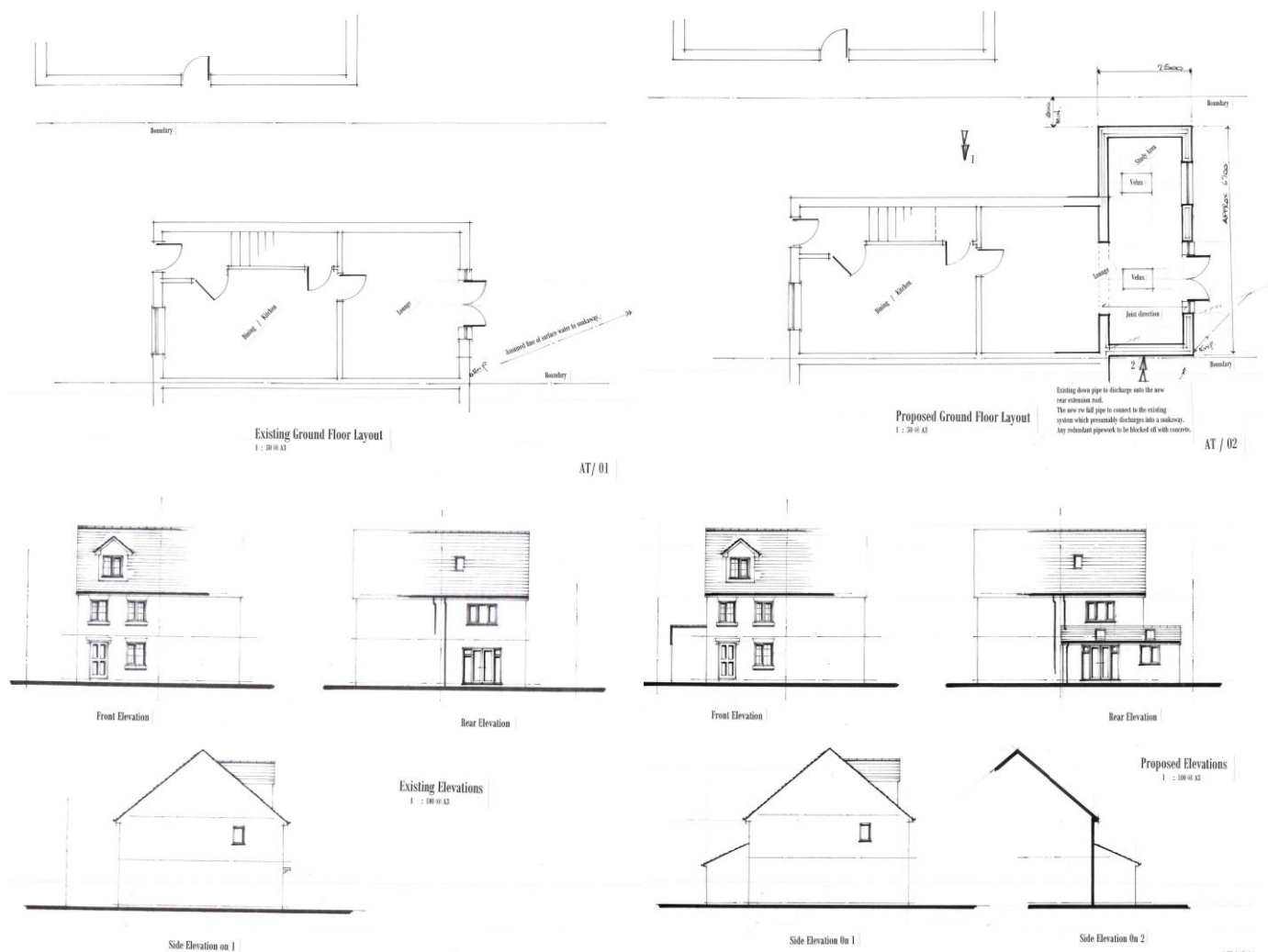
Planning History

- B/03/1558/BA - Erection of single-storey extension to form music block – Historic Decision
- B/04/0482/BA - Erection of pre-fabricated music rooms – Deemed Planning Decision Granted
- 2009/0311 - Erection of a single storey rear extension to Kingstone School – Approve with Conditions
- 2012/1004 - Demolition of Kingstone School. (Prior Notification) – Grant of Prior Approval
- 2014/0429 - Residential development of 163 dwellings. (Amended Plans) - Approve with Conditions

Proposed development

The applicant is seeking permission to erect a single storey rear extension to the north rear elevation with a pitched lean-to roof.

The proposed extension would project from the rear north side elevation by approximately 2.5 metres with a width of approximately 6.7 metres. The proposal will project past the west side elevation by approximately 2 metres. A pitched roof has been adopted with an approximate total height of 3.3 metres. The extension would be within a metre of the boundary to the west. Closely matching materials have been proposed.



Policy Context

Planning decisions should be made in accordance with the current development plan policies unless material considerations indicate otherwise; the National Planning Policy Framework (NPPF) does not change the statutory status of the development plan as the starting point for decision making. The Local Plan was adopted in January 2019 and is now accompanied by seven masterplan frameworks which apply to the largest site allocations (housing, employment, and mixed-use sites). In addition, the Council has adopted a series of Supplementary Planning Documents and Neighbourhood Plans which provide supporting guidance and specific local policies which are a material consideration in the decision-making process.

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027, or earlier, if circumstances require it.

Local Plan Allocation – Housing Allocation

The site is allocated as Housing Allocation in the adopted Local Plan. Given the site has already been developed for housing the following general policies are therefore relevant:

- ***Policy SD1: Presumption in favour of Sustainable Development.***
- ***Policy D1: High Quality Design and Place Making.***
- ***Policy GD1: General Development.***
- ***Policy T4: New Development and Transport Safety.***

Supplementary Planning Document(s)

- ***House Extensions and Other Domestic Alterations.***
- ***Parking.***

National Planning Policy Framework

The NPPF sets out the Government's planning policies and how these are expected to be applied. The core of this is a presumption in favour of sustainable development. Proposals that align with the Local Plan should be approved unless material considerations indicate otherwise. In respect of this application, relevant policies include:

- ***Section 12: Achieving well-designed and beautiful places.***

Consultations

No consultees were consulted on this application.

Representations

Neighbour notification letters were sent to surrounding properties. No representations were received.

Assessment

Principle of Development

Extensions and alterations to a domestic property and the erection of detached outbuildings in a domestic curtilage are acceptable in principle if they would remain subservient and would be of a scale and design which would be appropriate to the host property and would not be detrimental to the amenity afforded to adjacent properties, including visual amenity and highway safety

Residential Amenity

Extensions and alterations to a domestic property are considered acceptable if the proposal would not adversely affect the amenity of neighbouring properties.

The proposed extension would be erected to the west of 14 Assembly Way. It is acknowledged some overshadowing could occur; however, this would be restricted to evenings and be very minimal.

Although the distance from the rear elevation of the proposal to the boundary would be approximately 7 metres with 8 metres to the rear neighbouring blank elevation, it is unlikely the proposal will cause a detrimental loss of residential amenity to the rear neighbour, 20 Assembly Way. The neighbouring detached garage of 18 Assembly Way also acts as a screening between the proposal and the blank side elevation of 20 Assembly Way. Existing boundary treatment also reduces the impact of the proposal.

No side elevation windows have been proposed causing no detrimental affect to neighbouring residential amenity of 18 Assembly Way.

The proposal is therefore not considered to result in significantly increased levels of overshadowing, overlooking or reduced levels of outlook and would not have an overbearing impact. The proposal is therefore considered to comply with *Local Plan Policy GD1: General Development* and would be acceptable regarding residential amenity.

Visual Amenity

Extensions and alterations to a domestic property are considered acceptable if they would not significantly alter or detract from the character of the street scene and would sympathetically reflect the style and proportions of the existing dwelling,

The House Extensions and Other Domestic Alterations SPD states that a side extension should reflect the design of the existing dwelling in terms of roof style, pitch, materials and detailing and should not have an excessive sideways projection (i.e. more than two thirds the width of the original dwelling), and that all two-storey side extensions should have a pitched roof following the form of the existing roof. In addition, to prevent a terracing effect and to avoid detrimental changes to the character of the street scene, it will be desirable to provide a setback of at least 0.5 metres from the main front wall of the dwelling, and where practicable, a side extension should also be set in by one metre from the side boundary with an adjacent property to further avoid the terracing effect and to give the benefit of external access to the rear of the property.

The proposed extension reflects the property to the rear and although is a pitched roof; when viewed from the street scene provides an appearance of a flat roof. Considering this, the proposal is set well back from the principal elevation and is therefore not dominant to the street scene. Existing boundary treatment also provides screening from street view which helps to reduce any detrimental effect to the street scene and character. Materials have been detailed which match the existing property.

The rear patio doors and east side Velux window has been proposed in line with the existing rear window of the property. This reflects the existing character of the dwelling and meets the SPD guidance for house extensions and other domestic alterations.

The proposal is therefore not considered to significantly alter or detract from the character of the street scene and is considered to comply with *Local Plan Policy D1: High Quality Design and Placemaking* and would be acceptable regarding visual amenity.

Highway Safety

The proposal will not result in the loss of any existing parking spaces or the addition of any bedrooms.

The proposal is therefore considered to comply with *Local Plan Policy T4: New Development and Transport Safety* and would be acceptable regarding highway safety.

Recommendation

Approve with Conditions