

Proposed Dwelling
Ivy House Farm
Chapel Road
Tankersley
Barnsley
S75 3AR

February 2016

Ref: 14.38

HERITAGE STATEMENT

Planning History

The site has been the subject of a number of previous applications most recently:

2008/0032 – Erection of 12 Dwellings - Refused
B/04/1045/WO – Residential Development (Outline) - Approved

Planning Policy Context

The National Planning Policy Framework

The NPPF sets out the Government's vision and policies for the planning system in England and has at its heart the presumption in favour of sustainable development. The NPPF sets out twelve core planning principles including the need to:

- *conserve heritage assets in a manner appropriate to their significance, so they can be enjoyed for their contribution to the quality of life of this and future generations;*

Barnsley Core Strategy and its Development Policies

Extracts from the most relevant policies are as follows:

CSP29 Design

High quality development will be expected, that respects, takes advantage of and enhances the distinctive features of Barnsley, including:

- *views and vistas to key buildings, landmarks, skylines and gateways*
- *heritage, townscape and landscape character including the scale, layout, building styles and materials of the built form....*

Development should:

- *contribute to place making and be of high quality...*
- *help transform the character of physical environments that have become run down and are lacking in distinctiveness*
- *contribute towards creating attractive, sustainable and successful neighbourhoods.*

CSP31 The Historic Environment

It states that the council:

.. will positively encourage the management, conservation and enjoyment of Barnsley's historic environment and make the most of the heritage assets which define Barnsley's local distinctiveness.

Development which affects the historic environment and Barnsley's heritage assets and their setting will be expected to protect or improve:

- *the character and/or appearance of Listed Buildings*

Proposals

This proposal to erect a single detached dwelling has been carefully designed to reflect and enhance its locality. The general layout, massing, scaling and detailing of the proposal has been carefully considered to reflect the typical design of the more historic and traditional buildings within the village.

Heritage Assets and Physical Context

The site is located to the south west side of Chapel Road and opposite Pilley Lane at Pilley Village Tankersley. A site location plan has been included as part of the planning application documents but for identification the plan shown in Fig 01 below has been prepared.



Fig 01. Identification Plan



Fig 02. Located to the west and north west of the site are two stone barns.

The photograph in Fig 02 above is taken from the site looking west with Barn A on the right and Barn B on the left.



Fig 03. Grade II Listed Old Manor House to south west of the site



Fig 04. View from Junction of Chapel Road with Pilley Lane looking west, with No 19, 2/3 storey dwelling on the left and The Old Manor House, Listed building to the rear.



Fig 05. View of site frontage from Junction with Pilley Lane looking north west and showing large conifer hedge.



Fig 06. Methodist Chapel opposite site



Fig 07 Housing across junction to Pilley La.



Fig 08. Access to adj. Ivy House Farm



Fig 09. Ivy House Farm – East Elevation

Heritage Assets – Designated Listed Buildings

There is one listed building within the locality; referred to as The Old Manor House, 48 Chapel Road Tankersley, it is located adjacent to the south west corner of the proposed development site; referred to as 'The Old Manor House' in Fig 01.

List Entry No: 1151074

Details

TANKERSLEY CHAPEL ROAD SE30SW (south-west side), Pilley 1/64 No 48 (The Old Manor House) 18.2.76 (formerly listed as Pilley Farmhouse) - II Farmhouse. Early C18. Coursed, dressed sandstone, stone slate roof. T-shaped plan with later addition to right end incorporated under main roof, single-storey addition to left end. Main range: 2 storeys, 2 windows to 1st floor. Large quoins. C20 panelled door to right of centre in ashlar surround with bracketed ledge over, above this a shaped ashlar slab set beneath a recessed square panel without any

legible inscription. Flanking square-faced, mullioned windows of 3 lights having thin mullions and renewed casements. Outbuilding incorporated under main roof on right has rebuilt external steps to boarded door, casement to each floor on right. Shaped kneelers and gable copings to left end of range, rendered end stack; rebuilt brick stack to right end of original house.

Interior: twin spine beams to ground-floor room on right, C19 fireplace with 'Elsecar' cast-iron range. Attached barns on right not included in item.

Listing NGR: SE3341300614

The plan attached to the list entry appears to show the listed building to be at the rear (west) of the proposed development site; Barn B on the identification plan and shown on the left in Fig 02. This appears to be incorrect and the Listed Building, The Old Manor House is located to the south of Barn B as shown on Fig 01.

The barns to the rear and Ivy House Farm could be considered to be heritage assets although they are not designated. And the barns although attached to The Old Manor House are excluded from the listing.

Historical Development of Pilley Village

Historical ordnance survey plans suggest that Pilley originated as a small settlement of predominantly farm buildings in a linear arrangement to the south west of Chapel Road. Plans dating from 1894 until 1962 show the original farm buildings and Old Manor House to the west of the site that are still present today. They also show a building to the northern boundary between Barn A and Chapel Road which was removed by 1963 and replaced by what appears to be single storey garage buildings that are no longer present today.

Housing development on the eastern side of Chapel Road would appear to have commenced in the late 1950's to early 1960's beginning the prevalent use of Pilley as a residential village as it remains today.

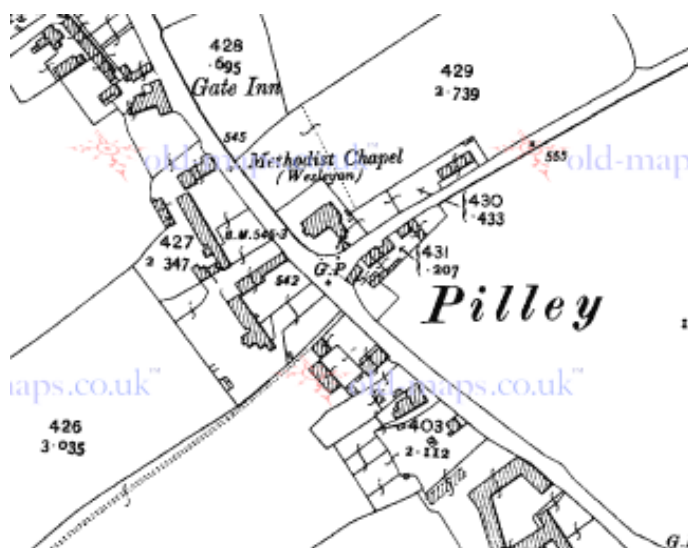


Fig 10.
1905 OS Map Pilley Village

Design

The proposed dwelling has been carefully designed to be sympathetic to traditional buildings within the village and the wider rural vernacular. It includes the typical principals of wide frontage, narrow plan layout with relatively low 'cottage style' eaves and a steeply pitched roof. It features windows with vertical proportions grouped together and sub-divided by stone mullions and with stone heads and cills. The use of good quality materials extends to the natural second hand regularly coursed stone walling flush pointed in lime based mortar and the use of Bradstone Old Quarried artificial stone slates, timber window frames with paint finish and hardwood doors.

The scale is in keeping and compliments a number of the more historic buildings adjacent to the site and is appropriate to the village setting.

The works involve the removal of an unsightly conifer hedge to the frontage boundary and the repair/reinstatement of the existing stone wall which will help open up the frontage and improve views from the village into the site and towards the Grade II Listed Building.

The Potential Impact on Heritage Assets

Clearly, whilst small, this proposal is in a sensitive part of the village. This sensitivity relates to the grade II listed house at the rear and its setting.

The proposed building will be viewed in conjunction with the existing listed building at the rear. As such it should fully harmonise and contribute by way of its scaling, mass, form, details and materials. There are currently no through views of the listed building from Chapel Lane other than those shown in Fig 04. This will be improved by the removal of the overgrown hedge to the site frontage and the recessing of the proposed building which is set back 5.5m into the site from the frontage boundary wall.

We conclude that the building is sufficiently recessive and of mass, scale and design such that it will have the best chance of contributing to the character of the area. The existing views of the listed building from Chapel Road will be improved and enhanced. This will help to improve the setting of the listed building.

Mitigation

On plan, the dwelling is located approximately centrally within the plot but with a reasonable setback from the roadside. This setback will help to reduce the dominance of the new dwelling and broadly reflecting building lines elsewhere.

The roadside wall will be retained and punctuated by a single opening to provide access. An existing access at the norther corner currently taken off the private drive to Ivy House Farm will be removed.

To the front (roadside) the main house elevation is double fronted and strongly symmetrical with simply detailed mullioned timber casements set deep in the reveal. Timber is used for all doors and windows and to the first floor the windows sit close to the eaves thus minimising the overall height of the dwelling. To the right and rear is a single storey garage with a pitched roof built in

similar materials and detailing. The external materials include reclaimed sandstone of a type common to the area and to that match the stone of Ivy House farm and the adjacent barns. Coursing is proposed as square, finished with slightly recessed jointing pointed with a lime mix of 1:3 (NHL 3.5: well graded aggregate (or river sand)). Heads, cills, mullions and jambs are proposed as natural stone throughout with reclaimed stone used for all external quoins and corners. To the roof a high quality artificial stone flag such as a Bradstone Old Quarried in diminishing courses will be used finished with a matching ridge and mortar fillet at the verge. Overall the intention is to make the building appear as traditional and as sympathetic as possible.

Conclusion

In summary, this proposal for the development of the plot adjacent to Ivy House Farm is a sustainable use of the site.

Due to a combination of a proper understanding of the setting and a sympathetic design the proposal will both enhance the conservation area and protect the setting of the listed building adjacent. Overall the layout, scale, detailing, and the use of materials that are consistent with the location, will allow the development to sit comfortably with the best the village has to offer.

The NPPF advises at paragraph 131 that:

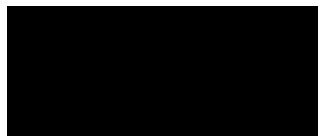
In determining planning applications, local planning authorities should take account of:

- The desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;
- The desirability of new development making a positive contribution to local character and distinctiveness.

In conclusion it is worth reflecting on paragraph 137 of the NPPF:

‘Local planning authorities should look for opportunities for new development within Conservation Areas and World Heritage Sites and within the setting of heritage assets to enhance or better reveal their significance. Proposals that preserve those elements of the setting that make a positive contribution to or better reveal the significance of the asset should be treated favourably.’

This proposal is just such an opportunity and as it is consistent with the relevant planning policies and we look forward to receiving the support of Local Authority Officers.



MBooth Design