

2022/0606

Mr Colin Broadhead

The Spinneys, 43 Cone Lane, Silkstone Common, Barnsley, S75 4PX

Erection of two storey side and rear extension with raised patio and new detached double garage

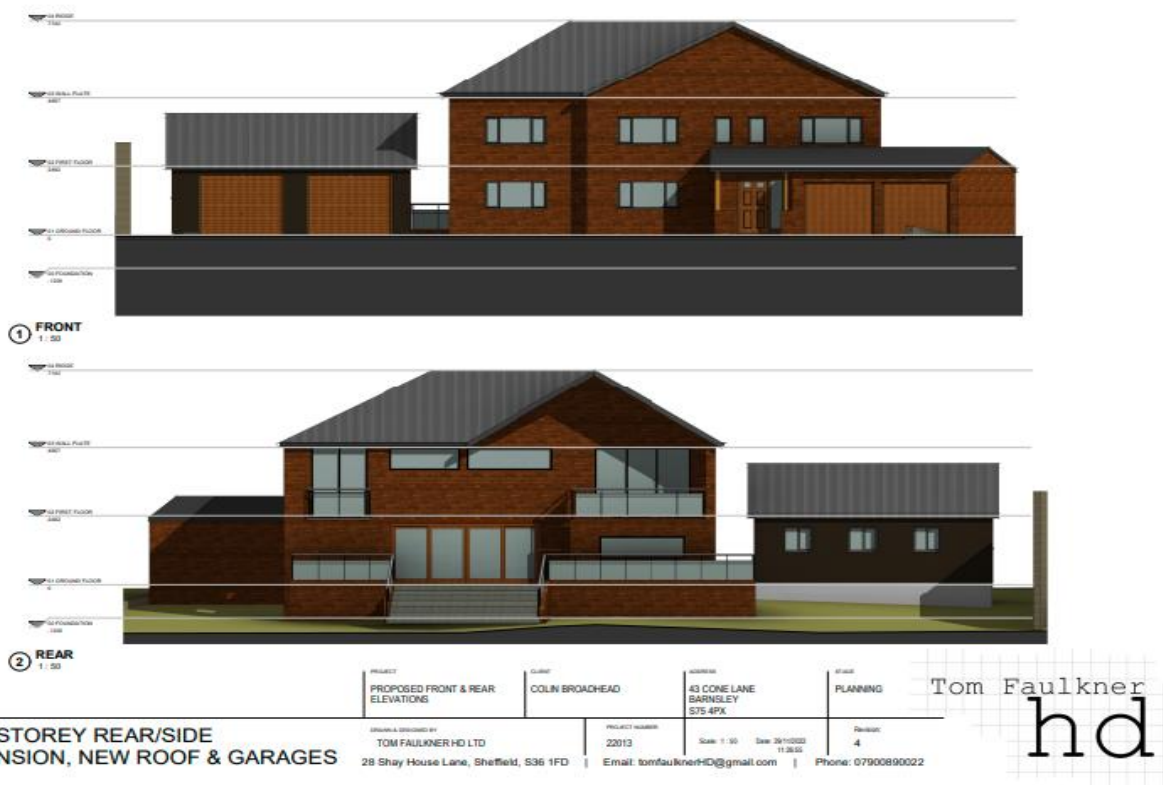
### Site Description

The dwelling is a two-storey detached dwelling located in Silkstone Common. Cone Lane has a mixed residential street scene featuring a variety of dwelling types and materials used. The dwelling has an integral double garage, parking space and garden area to the front with an existing conservatory (to be replaced) to the side. To the rear is a rear garden and outbuildings.

### Planning History

B/90/1075/PR - Erection of extension to garage (Historic)

### Proposed Development



The applicant is seeking approval for the erection of a two-storey side and rear extension with raised patio and a detached double garage. The side extension will project 4.3 meters from the side (south) elevation of the dwelling. The extension has a width of 9.9 meters. The extension will feature a hipped roof with a ridge height of 7.8 meters and an eaves height of 5 meters. The rear extension will project 1.25 meters from the rear elevation of the dwelling at ground floor level. The extension has a width of 4.55 meters. The extension will feature a flat roof with a total height of 3.6 meters which is topped with a balcony with a width of 4.2 meters. The materials used for both extensions will be matching brickwork and roof tiles.

The garage will be located to the south of the site. The garage has a length of 6.85 meters and a width of 7.5 meters. The garage will feature a pitched roof with a ridge height of 4.45 meters and an eaves height of 2.45 meters. The materials used will be matching brickwork and roof tiles.

## **Policy Context**

Planning decisions should be made in accordance with the current development plan policies unless material considerations indicate otherwise. The recently revised National Planning Policy Framework (NPPF) does not change the statutory status of the development plan as the starting point for decision making.

## **Local Plan Allocation – Urban Fabric**

To the extent that development plan policies are material to an application for planning permission the decision on the application must be taken in accordance with the development plan unless there are material considerations that indicate otherwise (section 70(2) of the Town and Country Planning Act 1990 and section 38(6) of the Planning and Compulsory Purchase Act 2004).

The Local Plan was adopted by the Council in January 2019 and the Council has also adopted a series of Supplementary Planning Documents which are other material considerations. The National Planning Policy Framework represents up-to-date government planning policy and is a material consideration that must be taken into account where it is relevant to a planning application.

In reference to this application, the following policies are relevant:

***Policy SD1: Presumption in favour of Sustainable Development*** – States that proposals for development will be approved where there will be no significant adverse effect on the living conditions and residential amenity of existing and future residents. Development will be expected to be compatible with neighbouring land and will not significantly prejudice the current or future use of neighbouring land. Policy GD1 below will be applied to all development.

***Policy GD1: General Development*** – States that proposals for development will be approved where there will be no significant adverse effect on the living conditions and residential amenity of existing and future residents. Development will be expected to be compatible with neighbouring land and will not significantly prejudice the current or future use of neighbouring land. Policy GD1 below will be applied to all development.

***Policy D1: High quality design and place making*** – Supersedes Core Strategy Policy CSP 29 and sets out the overarching design principles for the borough. Policy D1 States that development is expected to be of high-quality design and will be expected to respect, take advantage of and reinforce the distinctive, local character and features of Barnsley.

## **Supplementary Planning Document: House extensions and Other Domestic Alterations**

This document establishes the design principles that specifically apply to the consideration of planning applications for house extensions, roof alterations, outbuildings & other domestic alterations. The general principles are that proposals should;

- Be of a scale and design which harmonises with the existing building;
- Not adversely affect the amenity of neighbouring properties;
- Maintain the character of the street scene; and
- Not interfere with highway safety

The above principles are to reflect the revised principles in the NPPF, which promote high quality design and a good standard of amenity for all existing and future occupants of land and buildings.

### National Planning Policy Framework

The NPPF sets out the Government's planning policies and how these are expected to be applied. The core of this is a presumption in favour of sustainable development. Proposals that align with the Local Plan should be approved unless material considerations indicate otherwise. In respect of this application, relevant policies include:

**Section 12: Achieving well designed places** - The Government attaches great importance to the design of the built environment. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable. It is important to plan positively for the inclusion of high-quality design for all developments, including individual buildings, public and private spaces and development schemes.

Within section 12, paragraph 134 states that *“development that is not well designed should be refused, especially where it fails to reflect local design policies and government guidance on design, taking into account any local design guidance and supplementary planning documents such as design guides and codes”*.

### **Consultations**

Highways Development Control (DC) were consulted and raised no objections subject to conditions.

### **Representations**

Neighbour notification letters were sent to surrounding properties, one objection was received and in summary raised the following points;

- The size of the garage more resembles a house so concerns there could be a change of use to domestic accommodation, as the main house already has an integral double garage.
- The height of the garage being double storey will be dominant.
- Location of the garage in the front garden of the property interrupts the front aspect of Cone Lane and no other building protrudes further forward than this proposal on Cone Lane.
- The garage is to be located very close to our shared boundary.
- No issues with the proposed development of the house but concerned that a garage of that size right next to my property, in the front garden will diminish the look of my property.

This objection was received in response to the original set of plans. The garage design has since been revised and re-consulted on. No response was received as a result of the re-consultation.

### **Assessment**

#### Principle of Development

The site falls within urban fabric which has no specific land allocation; however, the site and surrounding area is made up principally of housing. Extensions to residential properties are considered acceptable where they do not have a detrimental impact on the amenity of surrounding residents, visual amenity and highway safety.

## Visual Amenity

The SPD states that *'materials should normally be of the same type, colour and texture to the existing house or as close a match as possible'*. In this case, the proposed materials will match the existing dwelling with matching brickwork and roof tiles being used.

The SPD states *"all two-storey side extensions should therefore have a pitched roof following the form of the existing roof"*. The proposed extension utilises a hipped roof which follows the form of the existing dwelling's hipped roof and is aligned at the eaves. The existing roof will be changed to a pitched roof however, but this is not deemed detrimental.

The SPD states *"to prevent a terracing effect and to avoid detrimental changes to the character of the street scene, it will be desirable to provide a setback of at least 500mm from the main front wall of the dwelling"*. The two-storey side extension is setback 0.5 meters from the front wall of the dwelling which is an acceptable setback distance.

The SPD states that *"the sideways projection of a two-storey side extension should not exceed more than two thirds the width of the original dwelling"* in order to ensure subordination and that the original dwelling stays as the dominant feature. A projection of two thirds the original dwelling is 6.13 meters, and the proposed projection is less than this at 4.3 meters and therefore acceptable. The proposed extension conforms to the SPD in terms of its external materials, projection and roof type, therefore it will have little impact upon the character of the street scene due to the harmony with the existing dwelling and being partially set to the rear of the dwelling.

The SPD states that *"detached garages should relate sympathetically to the main dwelling in style, proportions and external finishes. In most cases, it will not be appropriate for a garage to be sited between the house and the road"*. In this case the garage is sited to the side of the host dwelling and shares design features with it. The garden area where the garage is to be set is also at the lower level than that of the street scene. The proposed development is therefore not considered to be contrary to Local Plan Policy D1: High Quality Design and Place Making and is considered acceptable in terms of visual amenity.

## Residential Amenity

The proposed side extension won't have a significant detrimental impact on any neighbouring property by way of overshadowing or being overbearing and the extension does not project beyond the existing front elevation. The impact of overlooking is minimal as no windows are proposed at first floor level on the side elevation of the extension facing the neighbouring property.

The SPD states that *"two-storey rear extensions will be considered on the basis of the extent of overshadowing, loss of privacy and outlook"* and that *"extensions to the rear of detached houses will be considered on their design merits where no adjacent properties are affected"*. The impact on residential amenity resulting from the rear part of the extension is to be fairly limited. The two-storey extension will not have a significant detrimental impact on any neighbouring property by way of overshadowing or being overbearing. There is significant distance to the rear boundary being approximately 11 meters away from the rear elevation. Normally, balconies can cause significant overlooking into the private amenity space of neighbouring dwellings. However, the proposed balcony looks over an area where no dwellings are present.

The SPD states that *"detached garages should be single storey structures and the eaves height should not normally exceed 2.5 meters from ground level"*. The proposed garage has an eaves height 2.45 meters and the total height is set below the eaves height of the host dwelling. The garage is not set beyond the footprint of the neighbouring dwelling. The use of the garage will be conditioned for domestic use only. The proposal is considered to be in compliance with Local Plan Policy GD1: General Development and is acceptable in terms of residential amenity.

Highway Safety

There will be no impact upon highway safety.

**Recommendation**

**Approve with conditions**