
2024/0319

Mr J Cowgill

Erection of a five bay agricultural single storey building (Prior Notification)

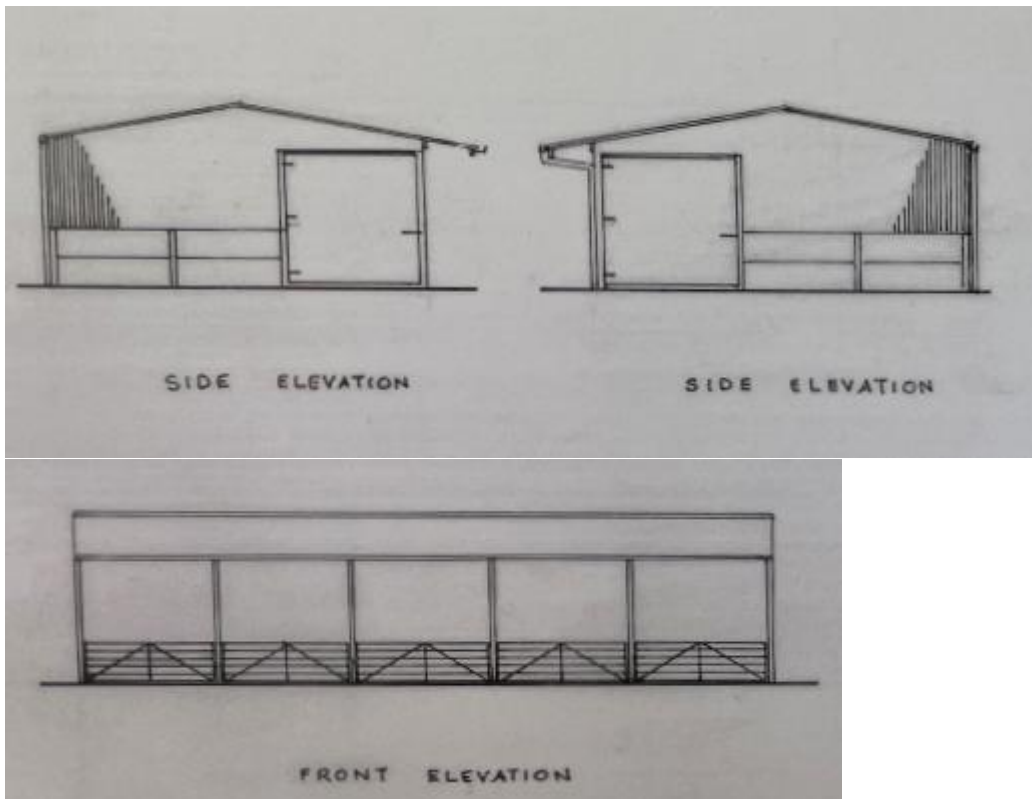
Lower Falthwaite Farm, Falthwaite Green Lane, Hood Green, Barnsley, S74 3HL

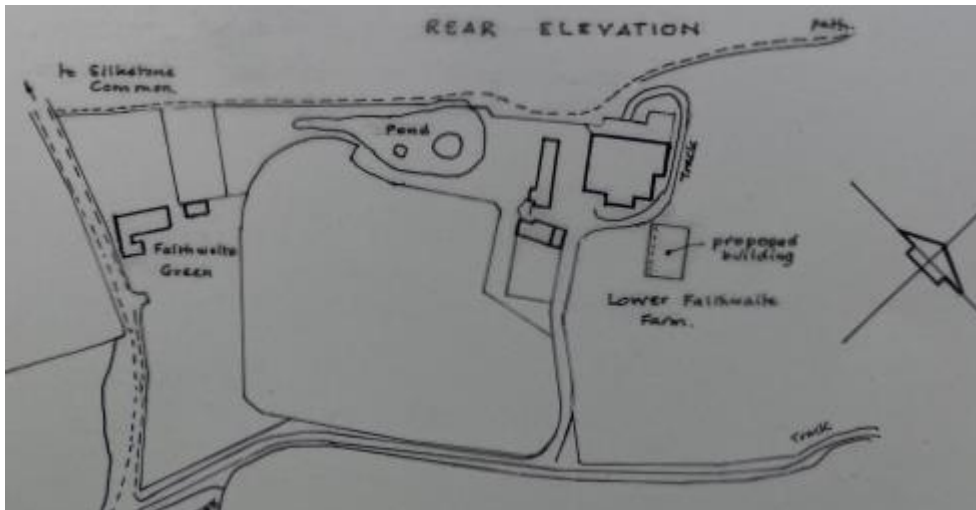
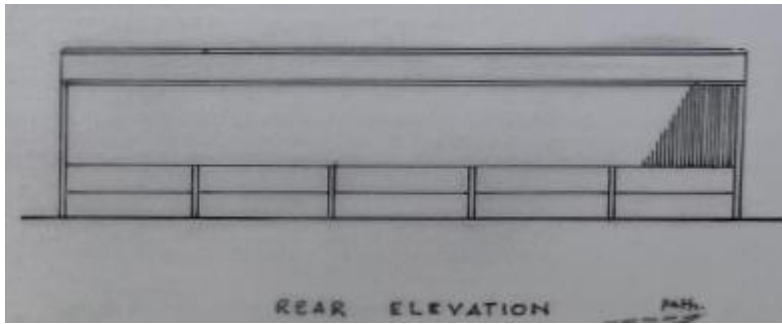
Description

Lower Falthwaite Farm, is located within Hood Green, within the western rural part of Barnsley. The farm is accessed from a track serving the farm off, House Carr Lane, linking Hood Green to Silkstone. The farm consists of stone-built buildings along with steel portal framed structures clad in Yorkshire boarding.

Proposed Development

The proposal involves a prior notification for the erection of an agricultural barn measuring 22.9m x 12.2m with a height of 5m to the eaves and 6.2m to the ridge, with a floor area of approximately 280sqm. The proposed building would be of a traditional design constructed from Yorkshire boarding cladding with a cement fibre corrugated roof. The proposed building would be located adjacent to an existing agricultural building and close to the main cluster of existing buildings. The applicant states that the building is intended for use as a machinery, fodder and bedding and crop store.





Policy Context

Planning decisions should be made in accordance with the development plan unless material considerations indicate otherwise and the NPPF does not change the statutory status of the development plan as the starting point for decision making. The Local Plan was adopted in January 2019 and is also now accompanied by seven masterplan frameworks which apply to the largest site allocations (housing, employment, and mixed-use sites). In addition, the Council has adopted a series of Supplementary Planning Documents and Neighbourhood Plans which provide supporting guidance and specific local policies and are a material consideration in the decision-making process.

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027 or earlier if circumstances, require it.

Local Plan – Green Belt

Local Plan Policy GB1 – Protection of Green Belt

Local Plan Policy GD1 – General Development

General Permitted Development Order Prior Notification Procedure – Agricultural and Forestry Part 6

Part 6, section A of the GPDO allows for the 28 day prior notification procedure for the erection of agricultural buildings and extensions for agricultural units of over 5 hectares.

Permitted development

A. The carrying out on agricultural land comprised in an agricultural unit of 5 hectares or more in area of—

- (a) works for the erection, extension or alteration of a building; or
- (b) any excavation or engineering operations, which are reasonably necessary for the purposes of agriculture within that unit.

Development not permitted

A.1 Development is not permitted by Class A if—

- (a) the development would be carried out on a separate parcel of land forming part of the unit which is less than 1 hectare in area;
- (b) it would consist of the erection or extension of any agricultural building on an established agricultural unit (as defined in paragraph X of Part 3 of this Schedule) where development under Class Q or S of Part 3 (changes of use) of this Schedule has been carried out within a period of 10 years ending with the date on which development under Class A(a) begins;
- (c) it would consist of, or include, the erection, extension or alteration of a dwelling;
- (d) it would involve the provision of a building, structure or works not designed for agricultural purposes;
- (e) the ground area which would be covered by—
 - (i) any works or structure (other than a fence) for accommodating livestock or any plant or machinery arising from engineering operations would exceed 1,000 square metres; or
 - (ii) any building erected or extended or altered by virtue of Class A would exceed 1,500 square metres, calculated as described in paragraph D.1(2)(a) of this Part;
- (f) the height of any part of any building, structure or works within 3 kilometres of the perimeter of an aerodrome would exceed 3 metres;
- (g) the height of any part of any building, structure or works not within 3 kilometres of the perimeter of an aerodrome would exceed 12 metres;
- (h) any part of the development would be within 25 metres of a metalled part of a trunk road or classified road;
- (i) it would consist of, or include, the erection or construction of, or the carrying out of any works to, a building, structure or an excavation used or to be used for the accommodation of livestock or for the storage of slurry or sewage sludge where the building, structure or excavation is, or would be, within 400 metres of the curtilage of a protected building;
- (j) it would involve excavations or engineering operations on or over article 2(4) land which are connected with fish farming; or
- (k) any building for storing fuel for or waste from a biomass boiler or an anaerobic digestion system—
 - (i) would be used for storing waste not produced by that boiler or system or for storing fuel not produced on land within the unit; or
 - (ii) is or would be within 400 metres of the curtilage of a protected building or
- (l) the erection or extension of a building would be carried out on land or a building that is, or is within the curtilage of a scheduled monument.

Subject to conditions

Consultations

None

Representations

None

Assessment

Principle of development

The site lies within an area allocated as Green Belt land where new buildings are usually considered unacceptable unless they are for agriculture, sport, or leisure. In this instance the building is for agricultural use and is therefore acceptable in principle subject to design, size, and location. Part 6, Section A of the GPDO allows for the 28-day prior notification procedure which allows the local authority to request the prior approval of the siting, design, and external appearance of the building in the form of a planning application should these be considered unacceptable.

The building is to be used for the storage of machinery, fodder and bedding and crops in connection with the farming business. The overall floor area of the building is 280sqm which is less than 1000sqm (calculated as described in paragraph D.1(2)(a)) and is of a purpose-built design which is acceptable in terms of visual amenity and impact on the openness of the Green Belt.

The proposed agricultural building would not be located within 400m of the curtilage of a protected building; a protected building being any permanent building which is normally occupied by people or would be so occupied if it were in use for purposes for which it is designed; but does not include a) a building within the agricultural unit or b) a dwelling or other building on another agricultural unit which is used for or in connection with agriculture.

In terms of the siting of the building, whilst the building could be seen from the access track serving the farm, it would not be visible from the highway; it is located within the farm holding and adjacent to existing buildings, and would be of a standard agricultural construction, built in a steel portal frame with traditional Yorkshire boarding with a grey profiled cement fibre corrugated roofing and would be seen as part of a cluster of existing agricultural buildings on this farm complex. As such the proposal is considered acceptable in terms of siting, scale, and design and therefore prior approval is not required.

Recommendation

Prior approval not required