

Application Reference: 2026/0518

Site Address: 407 Doncaster Road, Ardsley, Barnsley, S71 5AG

Proposal: Demolition of existing dwelling and erection of replacement dwelling

Relevant Site Characteristics

The application site is located on the south side of Doncaster Road within the Ardsley area. The area is predominantly residential and features a mixture of house types; including detached, semi-detached, terraced and bungalows. Properties predominately use pitched and gable roof forms and properties are constructed from various materials. Playing field within the grounds of Oakhill Primary School are located to the south of the site.

The property to be demolished is a detached bungalow featuring a pitched and gable roof form and constructed from brickwork and featuring some stone features. A flat roofed extension was located to the west of the dwelling but was demolished prior to the application. A flat roofed detached garage is located to the rear of the property and is accessed via a long driveway to the east of the dwelling. A large garden is located to the front and rear of the dwelling. The site lies within the Dearne Valley Green heart Nature Improvement Area.

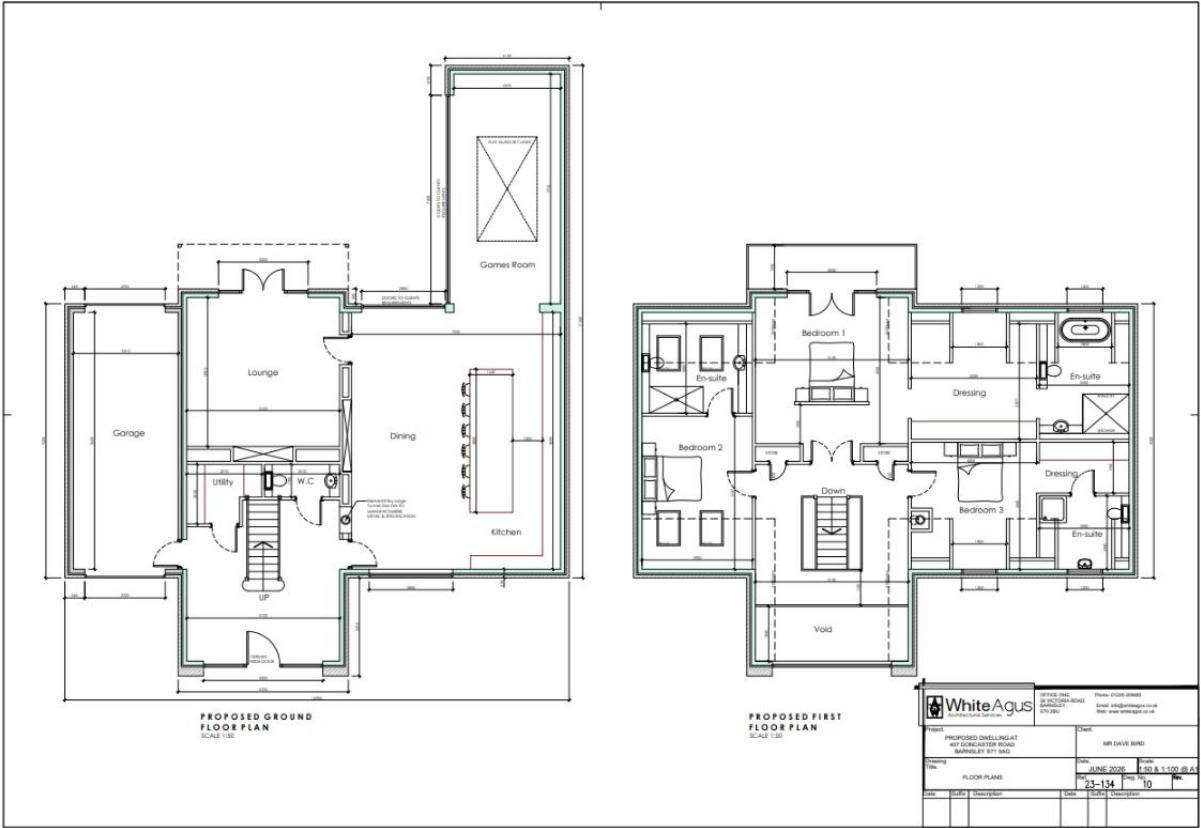
Planning History

Reference	Description	Decision
2023/1139	Raise height of roof to accommodate additional living accommodation with front and rear dormers, balcony and side, front and rear extensions	Approve with Conditions

Detailed description of Proposed Works

The applicant is seeking permission to demolish the existing dwelling and erect a replacement dwelling. The replacement dwelling would be a dormer bungalow featuring a pitched roof with modern style central 2 storey gable roof element. The gable element of the dwelling would feature a mostly glazed frontage and a balcony to the rear. The remainder of the roof would have pairs of gabled roofed dormers, and Velux windows to the front and rear elevations. An integrated garage is proposed. A games room is proposed to the rear of the dwelling projecting approximately 7 metres comprising a flat roof extension with full height glazing to the east elevation and a large glass rooflight. The dwelling is proposed to be constructed from render with slate effect tiles.

The previous application (2023/1139) at the site proposed to raise the roof height and extend the existing dwelling. The current proposal represents a scheme which is similar in scale to the previously approved roof height and extensions. This new application has been submitted in order to gain permission to demolish the existing dwelling and erect a new dwelling as upon commencing works for the previously approved extension, the existing foundations were found to be faulty. Extending the property would therefore have involved expensive structural works. A new build property has therefore been submitted which would reduce costs yet provide a similar scheme.



Relevant policies

The Development Plan

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires proposals to be determined in accordance with the development plan unless material considerations indicate otherwise. The development plan for Barnsley consists of the Barnsley Local Plan (adopted January 2019).

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027, or earlier, if circumstances require it.

The following Local Plan policies are relevant in this case:

- Policy SD1: Presumption in favour of Sustainable Development.
- Policy D1: High Quality Design and Place Making.
- Policy GD1: General Development.
- Policy CC2: Sustainable Design and Construction
- Policy CC3: Flood Risk
- Policy H6: Housing Mix and Efficient Use of Land
- Policy T3: New Development and Sustainable Travel
- Policy T4: New Development and Transport Safety
- Policy BIO1: Biodiversity and Geodiversity
- Policy POLL1: Pollution Control and Protection

National Planning Policy Framework (NPPF) and the National Planning Practice Guidance

In December 2024, The Government published a revised National Planning Policy Framework ("NPPF") which is the most recent revision of the original Framework, published first in 2012 and updated a number of times, providing the overarching planning framework for England. It sets out the Government's planning policies for England and how they are expected to be applied. The NPPF must be taken into account in the preparation of local and neighbourhood plans, and is a material consideration in planning decisions. This revised document has replaced the earlier planning policy statements, planning policy guidance and various policy letters and circulars, which are now cancelled.

Central to the NPPF is a presumption in favour of sustainable development which is at the heart of the framework (paragraph 10) and plans and decisions should apply this presumption in favour of sustainable development (paragraph 11). The NPPF confirms that there are three dimensions to sustainable development: economic, social and environmental; each of these aspects are mutually dependent. The most relevant sections are:

Section 2 - Achieving sustainable development

Section 4 - Decision making

Section 12 - Achieving well-designed places

The National Design Guidance (2019) is a material consideration and sets out ten characteristics of well-designed places based on planning policy expectations. A written

ministerial statement states that local planning authorities should take it into account when taking decisions.

Supplementary Planning Guidance

In line with the Town and Country Planning (Local Planning) (England) Regulations 2012, Barnsley has adopted twenty eight Supplementary Planning Documents (SPDs) following the adoption of the Local Plan in January 2019. The most pertinent SPD's in this case are:

- Design of Housing Development
- Parking
- Biodiversity and Geodiversity
- Sustainable Construction and Climate Change Adaption

The adopted SPDs should be treated as material considerations in decision making and are afforded full weight.

Consultations

The application has been advertised in accordance with Article 15 of the Town and Country Planning Development Management Procedure (England) Order 2015.

Consultee	Summary of Comments
Highways DC	No Objection subject to Conditions
Drainage	No Objection
Pollution Control	No Response
Local Ward Councillors	No Response

Representations

Any neighbour sharing a boundary with the site has been sent written notification and the application has been advertised on the Council website. No representations have been received

Planning Assessment

The main issues for consideration are as follows:

- The principle of the development
- The impact on visual amenity and character
- The impact on neighbouring residential properties
- The impact on highways safety
- The impact on ecology/biodiversity
- The impact on flood risk/drainage

For the purposes of considering the balance in this application, the following planning weight is referred to in this report using the following scale:

- Substantial
- Considerable
- Significant

- Moderate
- Modest
- Limited
- Little or no

Principle of development

The application site is allocated as urban fabric in the adopted Local Plan. Local Plan Policies GD1 and H4 are therefore applicable and require development to be compatible with its surroundings.

In this instance, the surrounding area is principally residential. Local Plan Policy H4: Residential developments on small non-allocated sites establishes proposals for residential development on sites below 0.4ha will be allowed where the proposal would comply with other relevant policies in the Local Plan. Such sites make a valuable contribution to the housing supply, and sites in towns and villages can offer good opportunities for providing houses where other people already live, near to existing shops and services. Developing these sites can reduce the need to provide new sites outside of settlement boundaries.

As such, we will allow small scale residential development within towns and villages in line with other policies, including those protecting peoples living conditions, road safety and design. All new dwellings must ensure that living conditions and overall standards of residential amenity are provided or maintained to an acceptable level, for existing and new and future residents, including visual amenity and highway safety.

Furthermore, the proposal is acknowledged to be a replacement dwelling and supersedes the previously extensions, approved under application 2023/1139, which would have resulted in a similar scheme. The decision to supersede the extensions with a replacement dwelling is due to a faulty foundation which has been discovered at the site upon commencement of the previous approval. The proposal therefore would not result in the loss of a house or make a valuable contribution to the housing supply. All of the above carry substantial weight in favour of the proposal.

Visual Amenity and Character

Policy D1 requires development to achieve a high standard of design that respects, enhances and reinforces the distinctive local character of Barnsley, including its townscape and heritage features.

The proposed dwelling would replace an existing dwelling and provides a scheme which is of a similar design and scale to the previously approved householder application, 2023/1139. The proposed dwelling would be approximately 3 metres taller than the existing dwelling and predominantly the same height as the previously approved roof height. Given the varied scale of properties in the street scene, the proposed roof height is not considered to be out of character with the surrounding area. Although the roof height would be marginally increased, the roof space would be utilised for bedrooms to provide a dormer bungalow, which would be preferred to a regular two storey dwelling in this location.

The proposed gable frontage would form a significant characteristic of the dwelling, however given the street scene provides various building lines and roof forms, the proposed gable feature is not considered incongruent. The gable feature would also replicate the features of 409 Doncaster Road, to the east of the site, and would replicate the features of the existing dwelling.

The dwelling is proposed to be constructed in render with slate effect roof tiles. Doncaster Road does not provide any prevailing materials, with stone, brickwork and some render used. The previous application approved the same render as proposed on the current application. The proposed render would therefore provide an acceptable appearance within the street scene.

Overall, the proposal is considered to represent a high-quality design that responds appropriately to its context and would preserve the character and appearance of the surrounding area. It is therefore compliant with Policies GD1 and D1 of the Local Plan and is acceptable in terms of visual amenity. This weighs significantly in favour of the proposal.

Residential Amenity

Policy GD1 states that development proposals will be supported where they do not result in significant adverse effects on the living conditions or residential amenity of existing or future occupiers.

The Design of Housing SPD advises that habitable room windows at first floor level and above should be located at least 10 metres from the boundary of any private garden they face. Similarly, habitable room windows in existing dwellings should maintain a minimum distance of 10 metres from proposed private gardens. Reduced distances may be acceptable for bungalows where garden size standards are met, and adequate levels of outlook, privacy and daylight are maintained.

No habitable rooms have been proposed to face neighbouring garden space or properties within the 10-metre distance to the front of the dwelling. Properties are located opposite the site; however, these are substantially distanced by Doncaster Road and would have no impact on the residential amenity of the opposite neighbours or the applicant.

Rooflights are detailed to the rear elevation to service an en-suite. Given the rooflights are angled upwards, they would not allow for opportunity to overlook amenity space or reduce the privacy of the applicant.

The proposed first floor rear elevation window to service an en-suite shall be conditioned to be obscured glazing in order to protect the residential amenity of neighbours, students attending Oakhill Primary School and the applicant.

The first-floor rear-facing windows and balcony would maintain a sufficient separation from the rear boundary with no properties immediately opposite. It is acknowledged that the windows would face a playing field in relation to Oakhill Primary School. However, any potential impact is likely to be similar to that which could exist as a result of other two-storey dwellings with first-floor rear-facing windows. The proposed balcony could result in additional overlooking; however, the southeast side of the balcony would incorporate a 1.8-metre-high privacy screening panel therefore lessening any potential impact on 409 Doncaster Road. Additionally, the balcony would face the blank east elevation of 405 Doncaster Road and existing trees forming the boundary would further mitigation and screen the site. No windows are proposed to either side elevation.

The proposed dwelling would be located to the north-west of 409 Doncaster Road. It is acknowledged the increased roof height above the existing dwelling could result in some overshadowing to this neighbour, however, given the dwelling would predominantly be to the west and north of the neighbouring property, the impacts would not be to a detrimental degree and would mostly be limited to the evenings.

The proposed dwelling would be erected to the east of 405 Doncaster Road. The increased dwelling height could result in some overshadowing, however given the neighbouring property is located to the west of the site and already set down, the additional height of the proposal would not be likely to detrimentally reduce the residential amenity of the neighbour. The existing boundary treatment is also considered significant and greatly reduces and screens the site.

The proposed dwelling is of an appropriate size, meeting the minimum internal space standards set out in the South Yorkshire Residential Design Guide for a three-bedroom dwelling. Adequate private amenity space is also provided with the property benefiting from a rear garden space in excess of 60 square metres.

Overall, the proposal is considered to comply with Local Plan Policy GD1 and the South Yorkshire Residential Design Guide. It would provide an acceptable standard of residential amenity for both existing and future occupiers, and this weighs moderately in favour of the development.

Highway Safety

Policy T3 of the Local Plan states that new development will be expected to be designed to reduce the need to travel, be accessible to public transport and meet the needs of pedestrians and cyclists.

Policy T4 of the Local Plan states that new development will be expected to be designed and built to provide all transport users within and surrounding the development safe, secure and convenient access and movement.

The site would provide a substantial driveway to the front of the dwelling. The dwelling provides a large garage with a garage door to both the front and rear elevation of the dwelling allowing further vehicle access to the existing rear detached garage. Significant parking facility would therefore be provided on site. The proposal therefore provides no highway safety concerns.

Effective public transport links are located close to the site via the bus stop located on Doncaster Road to the east of the site.

As such the proposal is considered acceptable in terms of its impact on highway safety and in compliance with Local Plan Policy T3 New Development and Sustainable Travel and Policy T4 New Development and Transport Safety. This carries significant weight in favour of the application.

Ecology/Biodiversity

Local Plan Policy BIO1 states that development will be expected to conserve and enhance the biodiversity and geodiversity features by protecting and improving habitats; maximising biodiversity opportunities in and around new developments and encouraging provision of biodiversity enhancements. Nevertheless, the mandatory BNG conditions still apply, and the onus is on the applicant to appropriately discharge these conditions and demonstrate which exemption is met

BNG became mandatory for all applications in April 2024 except where one of the exemptions (as set out in the PPG) are met. The PPG states that self-build and custom self-build applications are exempt and therefore a +10% net gain in biodiversity is not required in this instance

However, the standard biodiversity policies included in the adopted development plan are still relevant including the requirement for all new dwellings to include integrated bat and bird boxes as set out in the adopted Biodiversity and Geodiversity SPD. A condition has therefore been attached to this effect which requires details to be submitted prior to any above ground works. This also contributes towards the objectives of the Dearne Valley Green Heart Nature Improvement Area.

The proposal is therefore not considered to harmfully impact ecology fully accords with policy BIO1 of the Local Plan. Overall, the biodiversity impacts weighs in moderate favour.

Planning Balance and Conclusion

For the reasons given above, and taking all other matters into consideration, the proposal complies with the relevant plan policies and planning permission should be granted subject to necessary conditions. Under the provisions of the NPPF, the application is considered to be a sustainable form of development and is therefore recommended for approval.

RECOMMENDATION: Approve subject to conditions

Justification

STATEMENT OF COMPLIANCE WITH ARTICLE 35 OF THE TOWN AND COUNTRY DEVELOPMENT MANAGEMENT PROCEDURE ORDER 2015

No amendments have been requested from the applicant.

Due regard has been given to Article 8 and Protocol 1 of Article 1 of the European Convention for Human Rights Act 1998 when considering objections, the determination of the application and the resulting recommendation. It is considered that the recommendation will not interfere with the applicant's and/or any objector's right to respect for his private and family life, his home and his correspondence.

Conditions

- 1) The development hereby permitted shall be begun before the expiration of 3 years from the date of this permission.
Reason: In order to comply with the provision of Section 91 of the Town and Country Planning Act 1990.
- 2) The development hereby approved shall be carried out strictly in accordance with the approved plans

Elevations and Site Plan 23-134 DwgNo:11
Proposed Floor Plans 23-134 10

and specifications as approved unless required by any other conditions in this permission.

Reason: In the interests of the visual amenities of the locality in accordance with Local Plan Policy D1 High Quality Design and Place Making.

- 3) The dwelling hereby approved shall be constructed as a self-build/custom build property, as defined in section 1(A1) of the Self-build and Custom Housebuilding Act 2015. The dwelling shall only be occupied as a self-build/custom build dwelling in accordance with Section 1(A1) of the Self-build and Custom Housebuilding Act 2015 for a period of at least 3 years from date of the first occupation of the dwelling. In the event that the dwelling is not built and occupied for a minimum 3 years as a self-build/custom build property, a biodiversity net gain plan shall be submitted to and approved by the Local Planning Authority. The biodiversity net gain plan shall be implemented in accordance with the approved details.

Reason: In accordance with the Schedule 7A: Biodiversity Net Gain in England of the Town and Country Planning Act 1990.

- 4) The first floor rear elevation window servicing an en-suite shall be of obscured glazing with an obscurity rating of no less than 4 in the Pilkington Glass Range (or an equivalent obscurity rating). The glazing shall be retained as such thereafter.

Reason: In order to safeguard amenities of neighbours, students attending Oakhill Primary School and the applicant in accordance with Local Plan Policy GD1 General Development.

- 5) The 1.8 metre privacy screen proposed to the southeast side of the balcony shall be obscured or if glass shall be obscured with an obscurity rating of no less than 4 in the Pilkington Glass Range (or an equivalent obscurity rating). The screen shall be installed prior to the balcony being brought into use and shall be retained as such thereafter.

Reason: In order to safeguard amenities of the applicant and of the occupiers of the dwelling to the southeast in accordance with Local Plan Policy GD1 General Development.

- 6) Prior to the development being brought into use, the proposed driveway shall be hard surfaced and drained in such a manner to avoid the discharge of surface water from the site on to the highway.

Reason: To ensure adequate provision for the disposal of surface water and to prevent mud/debris from being deposited on the public highway and to prevent the migration of loose material on to the public highway to the detriment of road safety.

- 7) The proposed dwelling shall include at least 1 no. integrated bat roosting box, and 1 no. integrated swift brick. These measures shall be implemented in full, prior to first occupation of the site, and full details, including photographic evidence shall be provided to the Local Planning Authority prior to first occupation. The features shall thereafter be permanently retained.

Reason : In the interests of biodiversity in accordance with Local Plan Policy BIO1

- 8) Upon commencement of development, full details of both hard and soft landscaping works, including details of the species, positions and planted heights of proposed trees and shrubs; together with details of the position and condition of any existing

trees and hedgerows to be retained shall be submitted to and approved in writing by the Local Planning Authority. The approved hard landscaping details shall be implemented prior to the occupation of the dwelling.

Reason: In the interests of the visual amenities of the locality and in accordance with Local Plan Policy D1 High-Quality Design and Place Making

- 9) All planting, seeding or turfing comprised in the approved details of landscaping shall be carried out in the first planting and seeding seasons following the occupation of the buildings or the completion of the development, whichever is the sooner; and any trees or plants which die within a period of 5 years from the completion of the development, are removed, or become seriously damaged or diseased shall be replaced in the next planting season with other of similar size and species.

Reason: In the interests of the visual amenities of the locality and in accordance with Local Plan Policy BIO1 Biodiversity and Geodiversity

- 10) During construction or demolition works, activity shall only take place onsite between the hours of 0800 to 1800 Monday to Friday and 0900 to 1400 on Saturdays and at no time on Sundays or Bank Holidays.

Reason: To reduce or remove adverse impacts on health and the quality of life, especially for people living and/or working nearby, in accordance with Local Plan Policy POLL1.

Informatives

- 1) The development hereby approved includes the demolition of existing buildings. You are advised that before undertaking any demolition, you may require a demolition licence from the Highway Authority. Please be aware that works shall be to the specification and satisfaction of the Highways Authority and you must give 6 weeks' notice of demolition. If you start demolition work without the appropriate licence, you may be prosecuted. Fees are payable for the approval of demolition, and you will be issued with a Section 81 notice prior to commencing work, or you may be prosecuted. Further information and an application form are available on the BMBC website at <https://www.barnsley.gov.uk/services/planning-and-buildings/building-control/permission-to-demolish-a-building/> or please contact at email demolition@barnsley.gov.uk