

Planning_

Proposed_

Single Storey Side and Rear Extension

Flash House Farm_

Cawthorne

S75 4AJ

July 2020



Tel_ +44[0]7761 570735

E-Mail_ info@eightonetwo.co.uk

www.eightonetwo.co.uk

Studio A5_ Brooke's Mill_ Armitage Bridge_ Huddersfield_ HD4 7NR

RIBA 
Chartered Practice


Architects Registration Board

For + on Behalf of_

Mr + Mrs. Hopwood

Contents_

- 1.0_ Introduction
- 1.1_ Red Line Boundary + Listed Building History
- 1.2_ Design Brief
- 1.3_ Layout
- 1.4_ Appearance
- 1.5_ Precedent Studies
- 1.6_ Planning Drawings
- 1.7_ Conclusion



1.0_ Introduction

This design guide + heritage statement has been prepared by Eight_OneTwo Architects on behalf of our client as we seek planning permission and listed building consent for an external single storey side and rear extension within a conservation area for Flash House Farm, Cawthorne, Barnsley.

The property is located in an established residential area where the properties are of similar age and style of construction. There is easy access to local amenities, schools and public transportation services Lane Head Road [A635] is one of the main arterial routes into Barnsley.

The property barn element is Grade II listed so it is imperative that the design proposal are sensitive and responsive to its surroundings and context.

The design guide + Heritage statement should be read in context with the associated drawings and other supporting information submitted with the application.



1.1_ Redline Boundary + Listing Building History

The proposed works include the following_

The formation of a proposed single storey side and rear extension and internal alterations within the curtilage of Flash House Farm, Cawthorne, Barnsley.

The site has an area of approximately 7430.00 square meters.

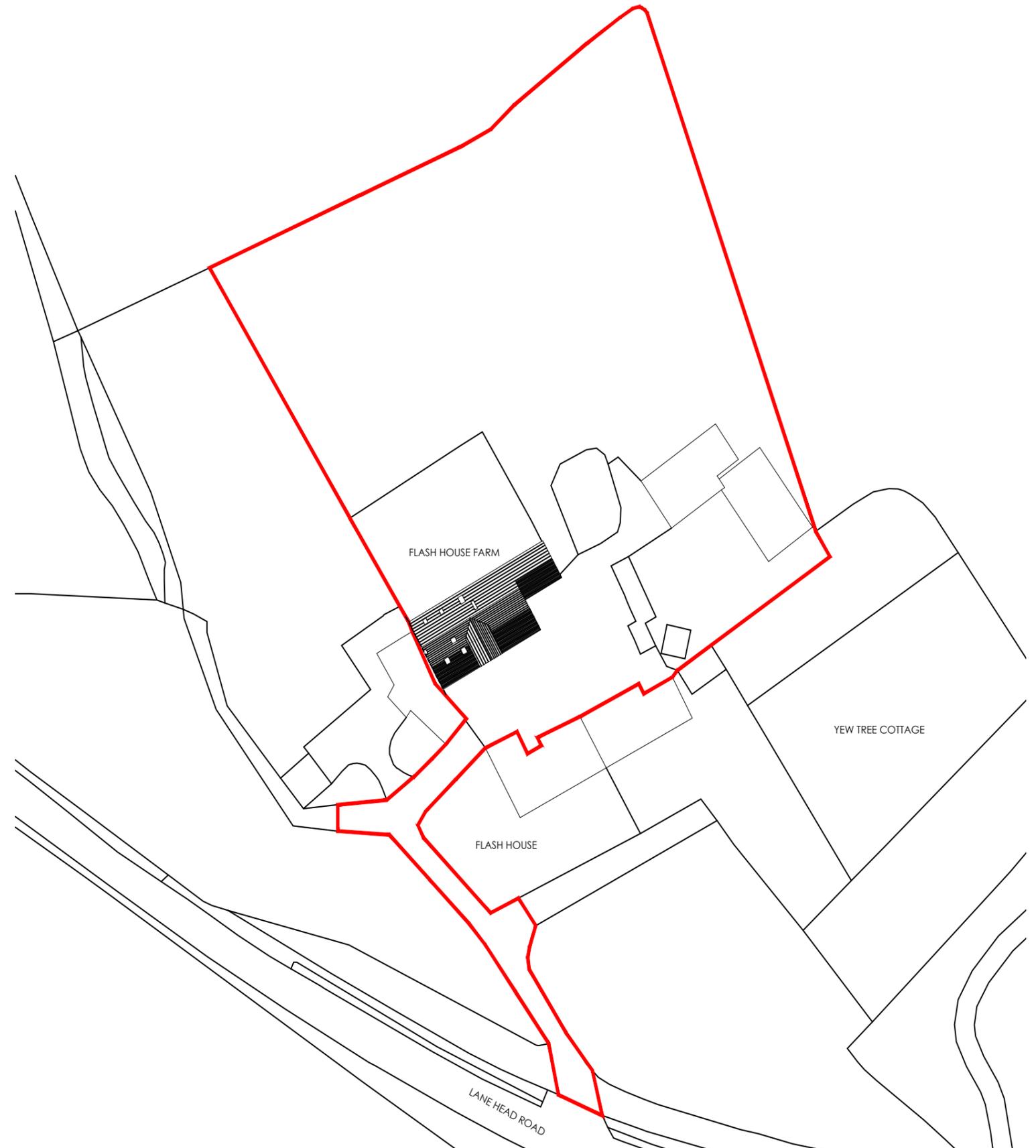
Historic England describe the Barn Element of Flash Fold Farm as follows_

Listing Entry Number_ 1191963

Grade_ II

"Barn. Dated 1698. Thinly-coursed rubble with quoins. Stone slate roof. Five internal bays with continuous front and rear outshuts. Central, gabled cart-entry with raised quoins at jambs and corbels supporting oak lintel. The gable contains a dovecot with a single continuous stone perch, and a 2-light double-chamfered window. In the apex is a small light with an inserted panel inscribed: "R J A 1698" in C18 lettering, probably c1729 (date of house q.v.). The harr-hung doors are set back and in the left return of the porch is a mistal door with dated lintel: "R J A 1698" Quoined doorway to each end of front. Ventilation slits. Inserted window to right of door. Rear: segmental-headed opposed cart-entry. Later additions to left and right not included in the item.

Interior: four king-post trusses with queen struts supported on posts at front and rear. Slender, curved braces from posts to tie beams and arcade plates, and from king-posts to ridge. Aisle-ties, wall-plates, purlins and rafters extant. Some timber studding to flanks of doorway and to dovecot gable".



1.2_ Design Brief

We aspire to provide a proposal that complies with local and national planning policy and one that respects the existing architectural context of the hamlet of Flash House Farm with a sensitive solution incorporating an element of contemporary design.

We will seek to create a design that draws on the architectural details of the surrounding dwelling while providing a contemporary interpretation of the local typology with contemporary detailing.

The proposal will respect the existing proportions of Flash House Farm in its massing and layout, it will apply carefully designed details and the use of high quality materials local to the existing dwelling and will draw inspiration from the surrounding typology to provide a high level architectural response that will bring order, hierarchy and a sense of 'completion' to the existing property.

The brief from our client was to develop the following schedule of accommodation_

Ground Floor_

A seating area that is enclosed that will allow south facing sun

Open plan space

A porch area to allow drop off of dirty clothes / cloak room and dog grooming area

Lots of light into the space and consideration of the existing spaces and how they will interact with the new proposals

An option to enter into the rear garden to encourage the integration of inside/outside living

Front Elevation_ Front elevation as viewed from within the Courtyard of Flash House Farm



1.3_ Layout

Layout_

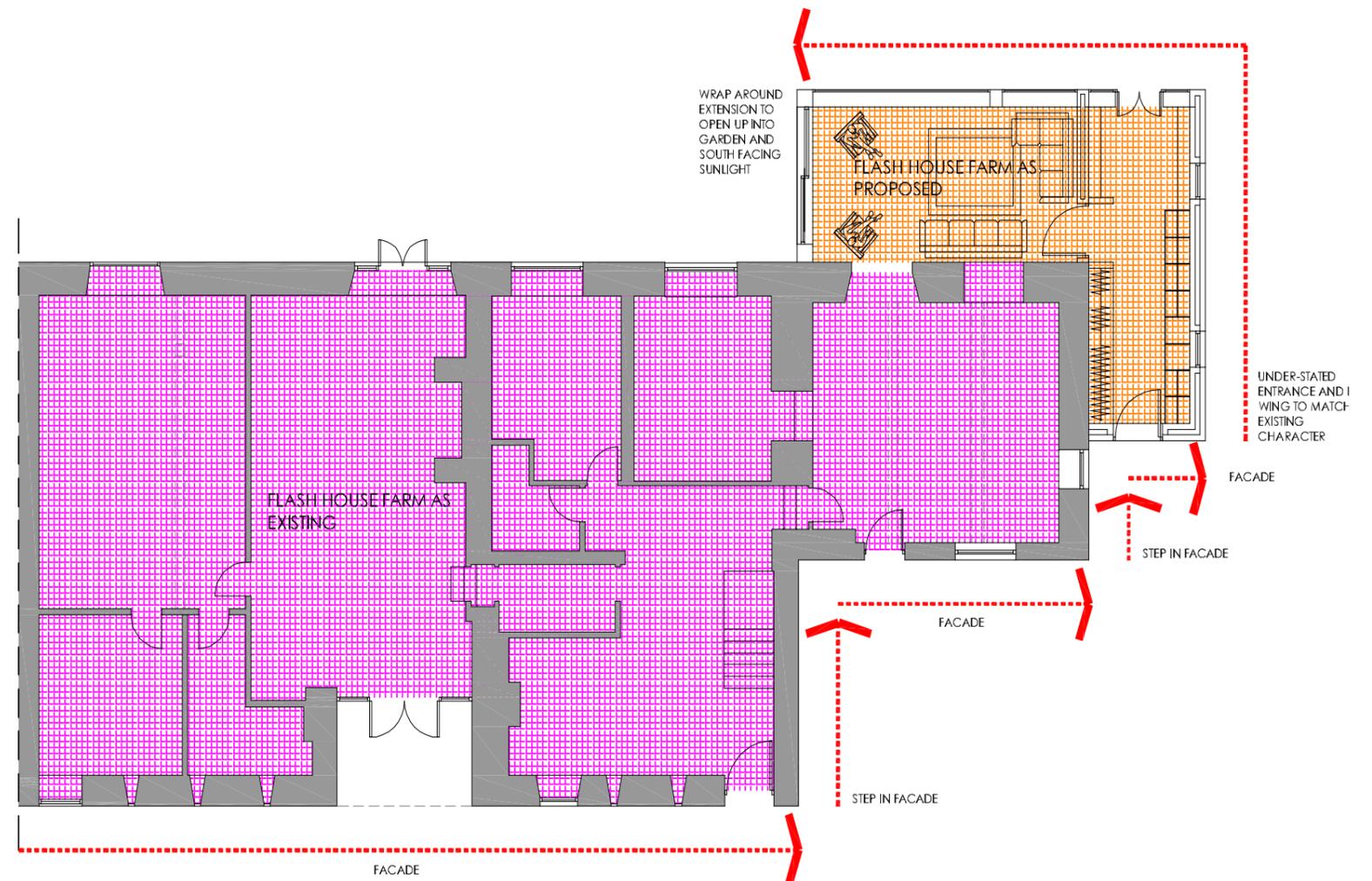
The concept behind the design proposal is to respond to the existing architectural vernacular of Flash House Farm in a slightly contemporary manner whilst maintaining elements of the existing property into the proposal.

The proposal is high quality design whilst at the same time referencing back to the existing dwelling in terms of form, height, massing and materiality

The original house is very generous especially but because of the large internal spaces and in some rooms small windows can leave the spaces feeling quite dark. The proposed layout is intended to allow maximum sun light whilst still allowing a stable entrance point from within the house - it is also intended to be accessible externally.

The layout is intended innocuous from the front elevation and to be tucked away from the barn to lessen its impact. The Front entrance should not detract from the main entrance and in essence acts as a 'workmans' entrance. The clients are keen walkers with their dog and within the countryside felt it was important to be able to access their property from a practical point of view, being able to take off wellington boots / muddy shoes and wet coats internally, away from the grandeur of the main house.

The diagram opposite attempts to show the rhythm of the existing dwelling by showing facades and steps within the facade and how we have positioned the proposal to still allow the rhythm to flow and set back the proposal from the original building line.



1.3_ Layout

Layout_

Light and open plan are paramount to ensuring that the design proposal is successful.

The intention is to create architectural drama, anticipation and excitement through a well lit, open plan living space and catching a glimpse of the new proposal and being forced into a journey from the front door to the large open plan extension.

Utilitarian areas are placed in the proposed hallway such as the large storage/cloak and an area for the dog to be cleaned / groomed.

It is imperative that by creating an infill extension that the kitchen area and the new seating area works well together but equally serve as their intended areas if required without feeling separated.

As per the floor plan design, it is noted that the patio doors have been removed from the kitchen room allowing the new extension to merge into this space and form a strong connection between the design proposal all the way through to the kitchen without impacting too much internally on the design or the original dwelling.



1.4_ Appearance

Appearance_

The proposal will have the same material palette to match the existing stone work.

The use of the stone work detail is essential to the success of the front and rear elevations but also for the 'plinth' sections of the rear elevation. A Quoined doorway matches that of the existing building on the front elevation.

We propose to use Green Oak within the rear elevation to provide interest and depth to the elevation - it also references the large Oak beam on the front elevation of the existing dwelling. The play of green oak within the material palette of the elevation also serves to create balance and break up what could potentially be seen as one mass expanse of stone or glass if the oak is not introduced.

The existing elevation (below) only serves patio doors from the kitchen and does not allow effective integration with the garden space. We propose sliding doors from the snug area that can be peeled open to open out on to the garden area, again to encourage the use of the garden area and integrate inside/outside living.



FRONT CONTEXT ELEVATION AS EXISTING_
Scale 1_100



REAR CONTEXT ELEVATION AS EXISTING_
Scale 1_100

1.5_ Material Palette + Precedent Studies

Proposed_

_Light flowing from front to rear

_Large openings that do not detract any one material

_Differencing forms
_Stone work details

_Rooflight openings on monopitch roofs

_Contemporary material response



The drawing is copyright © Eight One Two Architects Ltd. If in doubt... ASK. Drawing measurements shall not be obtained from scaling from the drawing. All dimensions are to be site verified prior to construction. Any discrepancies are to be reported to Eight One Two Architects Ltd immediately. This drawing is to be read in conjunction with all associated drawings and specifications including all relevant sub-consultants information.

Notes_

CONCEPT

0 1000 2000 3000 4000 5000mm
SCALE 1:100



Note:
Surrounding contextual buildings and information are based on received ordinance survey drawings and are shown for illustrative purposes only. Assumed site boundary is subject to legal confirmation

Note:
Information is based on OS map and received information and is subject to full topographical survey. Assumed site boundary and site constraints subject to legal confirmation. All legal easements and extent of existing underground services locations are subject to confirmation.

Rev. Date_ Amendments_ By_ Apr'd_

Eight_OneTwo
Architects

Tel_ +44 [0]7761 570735
Email_ mail@eightonetwo.co.uk
www.eightonetwo.co.uk
Studio A5_Brooke's Mill_Armitage Bridge_Huddersfield_HD4 7NR

Drawing Status_
CONCEPT

Client_
MR + MRS HOPWOOD

Project_
FLASH HOUSE FARM_ CAWTHORNE_ BARNSELY

Drawing Title_

Drawing Scale_ Drawn By_ Checked By_
JaL JaL

Paper Size_ Drawn Date_ Checked Date_
A3 01/06/2020 25/06/2020

Drawing Number_

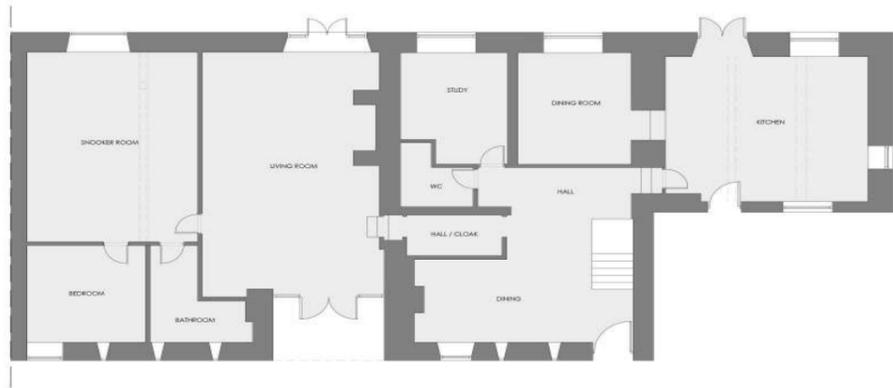
1.6_ Planning Drawings

As Existing Floor Plans and Elevations_

The drawing is copyright © Eight One Two Architects Ltd. All Rights Reserved. All drawings are to be checked prior to printing. Any drawings are to be used in conjunction with all associated drawings and have the status of being illustrative and not for construction.

Notes_

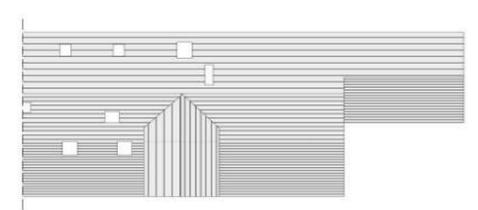
PLANNING



GROUND FLOOR PLAN_ AS EXISTING_ Scale 1_100



FIRST FLOOR PLAN_ AS EXISTING_ Scale 1_100



ROOF PLAN_ AS EXISTING_ Scale 1_100



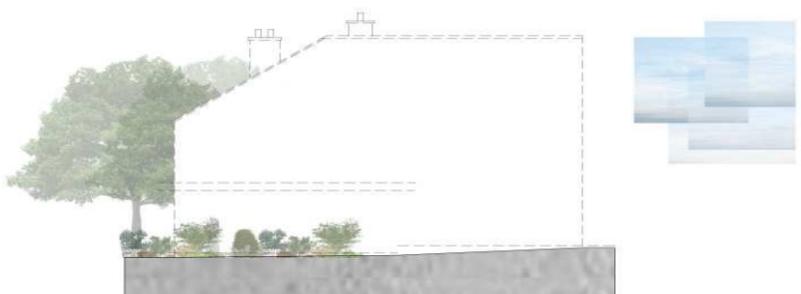
FRONT CONTEXT ELEVATION AS EXISTING_ Scale 1_100



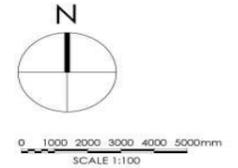
REAR CONTEXT ELEVATION AS EXISTING_ Scale 1_100



GABLE CONTEXT ELEVATION AS EXISTING_ Scale 1_100



CONTEXT ELEVATION AS EXISTING_ Scale 1_100



Note:
Surrounding contextual buildings and information are based on received ordinance survey drawings and are shown for illustrative purposes only. assumed site boundary is subject to confirmation to legal confirmation.

Note:
Information is based on OS map and received information and is subject to full topographical survey. Assumed site boundary and site constraints subject to legal confirmation. All Legal easements and extent of existing underground services locations are subject to confirmation.

Rev. Date_ Amendment_ By_ App'd_

Eight_OneTwo
Architects

Tel_ +44 (0)7761 570735
Email_ mail@eightonetwo.co.uk
www_ eightonetwo.co.uk
Studio A5, Brooke's Mill, Armitage Bridge, Huddersfield, HD4 7NE

Drawing Status_ PLANNING

Client_ MR + MRS HOPWOOD

Project_ FLASH HOUSE FARM, CAWTHORNE, BARNSELY

Drawing Title_ AS EXISTING PLANS + ELEVATIONS

Drawing Scale_ 1:100 Drawn By_ JOL Checked By_ JOL

Paper Size_ A1 Draw Date_ 01/06/2020 Checked Date_ 17/07/2020

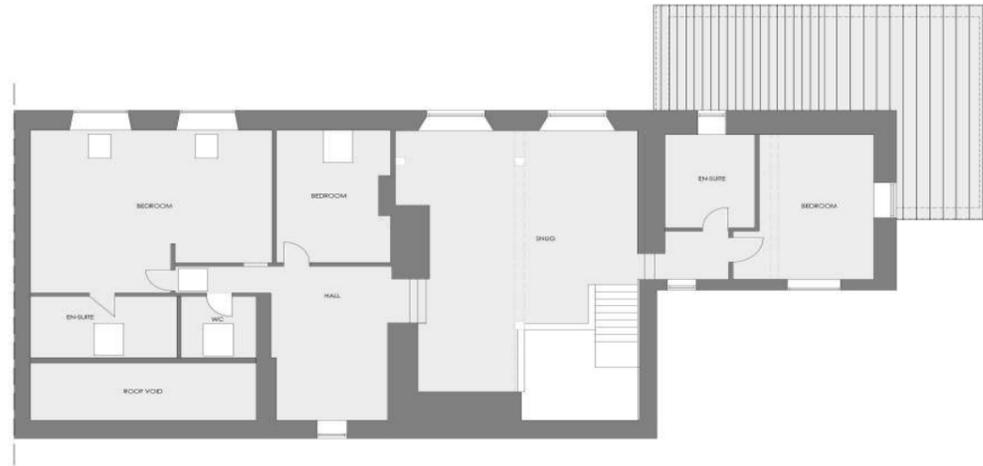
Drawing Number_ 20_808 100

1.6_ Planning Drawings

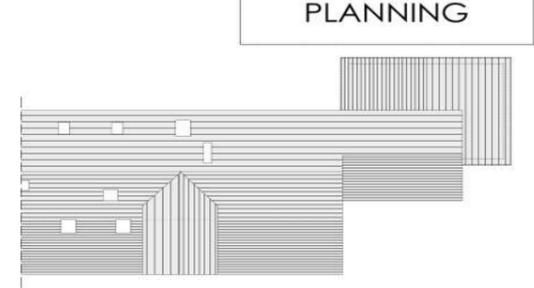
As Proposed Floor Plans and Elevations_



GROUND FLOOR PLAN_ AS PROPOSED_ Scale 1_100



FIRST FLOOR PLAN_ AS PROPOSED_ Scale 1_100



ROOF PLAN_ AS EXISTING_ Scale 1_100

The drawing is copyright © Eight One Two Architects Ltd. All Rights Reserved. All drawings are to be checked prior to construction. Any alterations are to be requested by Eight One Two Architects Ltd immediately. The drawing is to be used in conjunction with all associated drawings and have the client's knowledge and approval of the architect.

Notes_

PLANNING



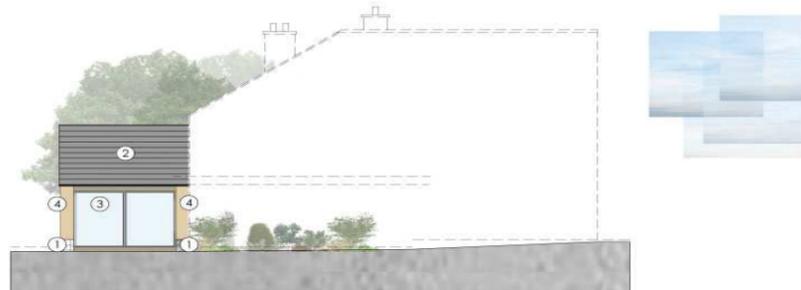
FRONT CONTEXT ELEVATION AS EXISTING_ Scale 1_100



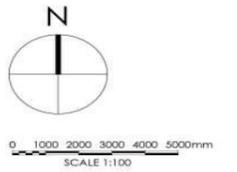
REAR CONTEXT ELEVATION AS EXISTING_ Scale 1_100



GABLE CONTEXT ELEVATION AS EXISTING_ Scale 1_100



GABLE CONTEXT ELEVATION AS EXISTING_ Scale 1_100



Material Palette_

- ① Stone Coursed randomly to Match Existing
- ② Roof to Match Existing
- ③ Aluminium Window / UPVC / Sliding Door - RAL 7035
- ④ Proposed Green oak frame
- ⑤ Bespoke Timber door

Note: Surrounding contextual buildings and information are based on received Ordnance Survey drawings and are shown for illustrative purposes only. assumed site boundary is subject to confirmation to legal confirmation.

Note: Information is based on OS map and received information and is subject to full topographical survey. Assumed site boundary and site constraints subject to legal confirmation. All legal easements and extent of existing underground services locations are subject to confirmation.

Rev. Date. Amendment. By. App'd.

Eight_OneTwo

Architects

Tel. +44 (0)7761 570735
 Email. mail@eightonetwo.co.uk
 www.eightonetwo.co.uk
 Studio A5, Brooke's Mill, Armitage Bridge, Huddersfield, HD4 7NE

Drawing Status_ PLANNING

Client_ MR + MRS HOPWOOD

Project_ FLASH HOUSE FARM, CAWTHORNE, BARNSELY

Drawing Title_ AS PROPOSED PLANS + ELEVATIONS

Drawing Scale_ 1:100 Drawn By_ JAL Checked By_ JAL

Paper Size_ A1 Draw Date_ 01/06/2020 Checked Date_ 17/07/2020

Drawing Number_ 20_808 101

1.7_ Conclusion

There is clearly a good opportunity to develop the existing dwelling through the use of well considered architecture.

On completion the design proposals will infill the current infill gap by repositioning the design and continuing the building line to that of the existing while at the same time helping to enhance the visual aesthetic of the rear property.

The form of the site will ensure that although the street scene will be enclosed and the proposal will not directly address the front elevation / courtyard / neighbouring buildings It is essentially turning its back on the front of the property to form a secure, enclosed design solution.

The plot has an opportunity to achieve excellent external space that allows a good sized rear garden which should also be expected with the standard of design proposal.

The development will provide a high quality scheme that responds sympathetically to its immediate surroundings and will not provide any overbearing aspects to that of the neighboring housing domains and wider context. This will be achieved in terms of its architectural design, massing and density, materials, the layout and type of property and in relation to its urban and landscape design.

There is a clear chance to employ variety within the overall architectural theme of a style to brand the site as an example of architectural design and quality.

