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2025/0029

Mr Kevin Hope

Ben Venuto, The Avenue, Wortley, Sheffield, S35 7DB

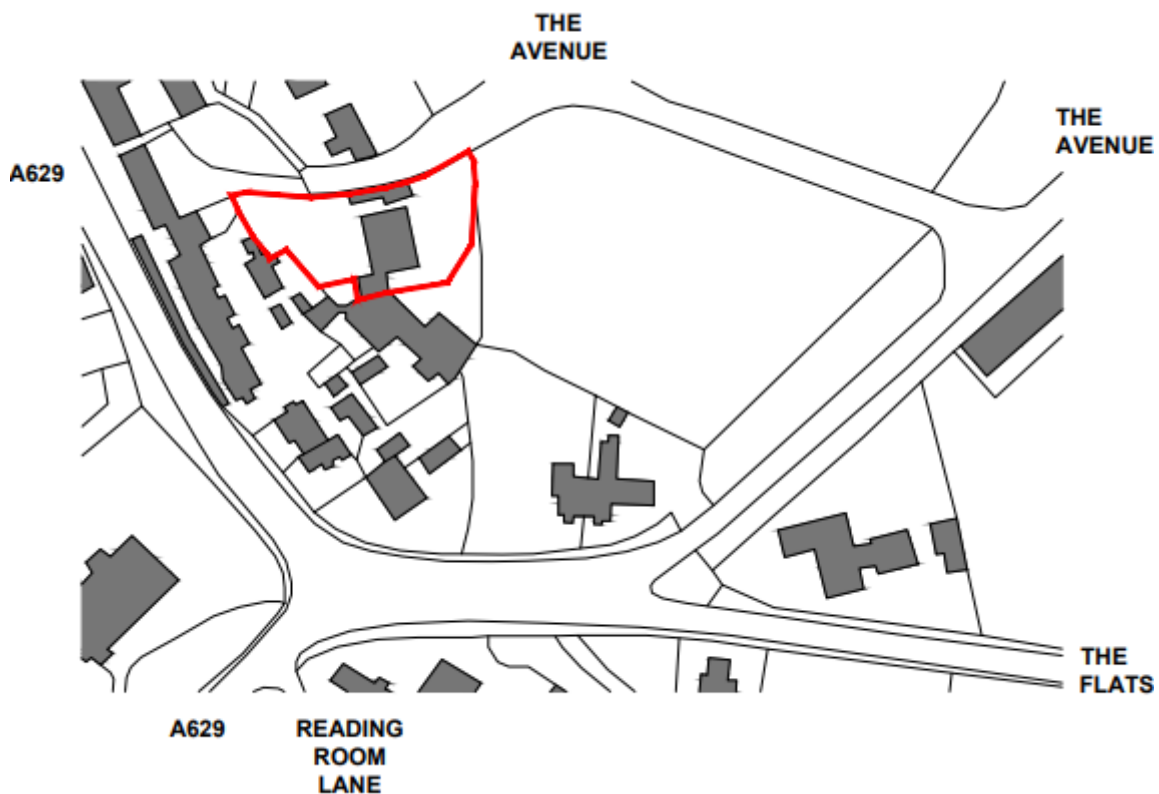
Single storey side and rear extension with solar panels, front porch and conversion of loft with dormers to the rear roof pitch.

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### Site Description

The application relates to a plot located on the south side of The Avenue and between Halifax Road to the west and a group of trees forming part of Wortley Hall greenspace to the east – a grade II-listed historic park and garden which accommodates several grade II-listed assets. The application site is also located within the Wortley Conservation Area alongside several grade II-listed assets within the locality. The surrounding area is principally residential characterised by a mix of dwelling types of varying scale and appearance.

The property in question is a detached bungalow constructed of stone with a pitched artificial slate roof and an attached flat roof garage and garden room to the south-west corner which also adjoins the northern gable of Hi Gables. The application property is fronted by a small garden and a driveway and access is shared with the adjacent neighbouring property. To the rear is a larger, private garden.



# Planning History

There is one previous planning applications associated with this site:

1. B/93/1287/WO – Erection of single storey extension to dwelling. – Approved.

# Proposed Development

The applicant is seeking permission for the removal of an existing extension and the erection of a new side and rear extension with solar panels, a front porch and a loft conversion with the installation of dormers to the rear roof pitch.

The proposed porch would measure approximately 1.9 metres (L) x 3.2 metres (W) x 3.9 metres (H). The porch would adopt a gable pitched roof and would be constructed of stone.

The proposed side and rear extension would measure approximately 8.7 metres (L) x 7.5 metres (W) x 5.2 metres (H). The extension would adopt a pitched roof and would be constructed of stone with fibre cement roof tiles. Solar panels would be installed on both roof pitches of the extension.

The existing roof would be replaced with new fibre cement roof tiles and two pitched dormers would be installed on the rear roof pitch to facilitate a loft conversion.

<p><b>Demolitions</b> Existing external walls, internal partitions, staircase, doors, windows and kitchen units to be carefully removed, shown dotted</p> <p><b>New Foundations</b> New foundations are to be concrete strip foundations 600mm width, depth to suit ground conditions and to be confirmed on site. High Alumina concrete must not be used.</p> <p><b>Structural Items</b> All structural openings and supports to removed items, including new roof structure and removal of the chimney breasts to ground and first floors to the design and spec of the S. Eng All steel beams to be fully encased and achieve 30mins fire resistance.</p> <p><b>New Solid Ground Floor</b> New floor construction throughout. Finish (to be confirmed by the client) laid on sand cement screed with u/f heating incorporated on 100mm Kingspan Kooltherm K7 rigid board insulation, on 150mm concrete floor slab on low density polyethylene 300mu, 1200 gauge, Visqueen DPM laid on 50mm sand blinding on well compacted hardcore fill all to achieve a u-value of 0.19W/m<sup>2</sup>K. NOTE Existing stone slabs to be retained for external use.</p> <p><b>New External Walls</b> To achieve a u-value of 0.18W/m<sup>2</sup>K External walls to be stone/brick blockwork cavity external wall construction with 12.5mm internal plasterboard and skim finish, 100mm Kingspan kooltherm k value 0.15 inner leaf, 100mm Kingspan kooltherm K08 cavity wall insulation, 50mm cavity and 100mm external leaf local stone to match the existing and all to achieve a u-value of 0.18W/m<sup>2</sup>K</p>	<p><b>Upgrade of Existing Roof</b> Roof construction - C24 rafters at max 400mm centres span to engineer's details. Insulation to be 100mm Kingspan thermaphix between rafters with Kingspan kooltherm 57.5mm insulated plasterboard below. Maintain a 50mm air gap above insulation to ventilate roof. Provide opening at eaves level at least equal to continuous strip 25mm wide and opening at ridge equal to continuous strip 5mm wide to promote ventilation or provide equivalent high and low level tile vents in accordance with manufacturer's details. Provide 5mm skim coat of finishing plaster to the underside of all ceilings. Allow for replacing roof tiles with new Marley Eternit fibre cement tiles</p> <p><b>New &amp; Existing Pitched Roof</b> New roof to be Marley Eternit fibre cement tiles to match the existing building on SW timber battens and counterbattens on Tyvek Supro breathable membrane on SW timber rafters to S. Eng's size and specification and with 100mm Kingspan Kooltherm K7 rigid roof board insulation laid between rafters and 62.5mm Kingspan Kooltherm K18 Insulated Dry-Lining fixed to the underside all to achieve a U-Value of 0.15W/m<sup>2</sup>K</p>	<p><b>Lintels</b> - over masonry openings in external walls to be Catnic lintels sized appropriate to the opening and to all manufacturers recommendations. Install pre cast concrete relieving lintels over drains under masonry walls</p> <p><b>Draught Sealing</b> - mastic seals &amp; tapes to be provided to all doors, windows, sealing around service entries and around light fittings etc</p> <p><b>Internal Partitions</b> Form new 125mm overall timber stud partitions consisting of 12.5mm plasterboard to each face, 100 x 50mm timber studs at 600mm c/c's and 25mm Isovol insulation between studs as shown</p> <p><b>Internal Doors</b> Internal doors to be 763 x 1981mm doors, style to be confirmed by the client.</p> <p><b>Smoke Detection</b> Mains operated linked smoke alarm detection system, to be mains powered with battery back up to be placed on each storey with an additional interlinked heat detector at ceiling level in kitchens</p>	<p><b>External Doors</b> External doors to be uPVC fully double glazed, 1275mm x 2100mm, door and half leaf and powder coated aluminium, fully double glazed, 3 leaf, 3000mm x 2100mm folding sliding door as shown.</p> <p><b>New Rainwater Goods</b> New gutters to match existing, downpipes to be standard 68mm plastic rainwater pipes to drain to new gully connected to existing drains</p> <p><b>Windows</b> Windows to be uPVC fully double glazed operable casement windows to match existing. Insulated plasterboard to be used in reveals to abut jambs. Fully insulated and continuous cavity closers to be used around reveals. Provide emergency egress windows to any newly created first floor habitable rooms and ground floor inner rooms with an openable area that is at least 0.3m<sup>2</sup> and have no dimension less than 450mm high or 450mm wide.</p> <p><b>Rooflights</b> New 4 No. Velux GGL MK04 780 x 980mm and 1 No. Velux 780mm x 624mm MK27 centre pivot rooflights as shown</p> <p><b>Dormer Walls</b> To achieve minimum U Value of 0.18W/m<sup>2</sup>K Structure to engineer's details and calculations. Tiles hung vertically on 25 x 38mm preservative treated battens fixed on vertical counterbattens to ensure vented and drained cavity, breathable membrane below (having a vapour resistance of not more than 0.6 MNs/g) and 12mm thick W.B.P external quality plywood sheathing (or other approved). Ply fixed to treated timber frame studs constructed using: 150mm x 50mm head and sole plates and vertical studs (with noggin) at 400mm centres or to structural engineer's details and calculations. Insulation between and over studs; 120mm Kingspan kooltherm between plus 37.5mm kingspan kooltherm insulated plasterboard over with VCL fixed to internal face of insulation. Finish with 3mm skim coat of finishing plaster. Dormer cheeks within 1m of the boundary to be lined externally with 12.5mm Supalux and 12.5mm Gyproc FireLine board internally to achieve 1/2 hour fire resistance from both sides.</p> <p><b>New Staircase</b> Existing ground floor to first floor staircase to be removed and replaced with new ground floor to first floor staircase, to be sw timber staircase to consist of 13 No risers as shown, treads to be 220mm, risers to suit change in level to maximum 42 degree rake and with bullnose nosing, include for 48mm diameter sw timber handrail fixed to adjacent wall on wall brackets and on balustrading all at 900mm above the rake of the stair.</p>	<p><b>Background Ventilation</b> Background ventilation via trickle vents within the window frame to new habitable rooms at a rate of min 8000mm<sup>2</sup>; and to kitchens, bathrooms, WCs and utility rooms at a rate of 4000mm<sup>2</sup></p> <p><b>Wall and Ceiling Finishes</b> - finishes to all rooms to be 3mm skim finish on plasterboard/ partitions, wall, ceilings and timberwork are to be emulsion painted, satin paint to all timber skirtings, decorative woodstain to all exposed timber boarding. No of primers, undercoats and finishing coats to all manufacturers recommendations</p> <p><b>Sanitaryware</b> New bathroom suite to be supplied by the client and to include bath, shower, wc and basins as shown. NOTE allow for installation. Contractor to allow for new domestic style 15lit Bathroom mechanical extract vent through the external wall with 15min overrun and connected to the light switch to all bathroom and wc areas.</p> <p><b>Kitchen/ Utility Units &amp; Appliances</b> New Kitchen &amp; utility units all to be supplied by the client. Contractor to allow for new domestic style 30lit mechanical extract vent through the external wall (allow for installation)</p> <p><b>Electrics</b> All new light fittings to be low energy units, type, number and locations all to be confirmed by the client on site, new light switches to be stainless steel domestic style, switch locations to be confirmed by the client on site. All new electrical sockets etc to be stainless steel domestic style number of and locations all to be confirmed by the client on site and installed 450mm above FFL or min 150mm above Utility work surface. All electric works to be carried out by a member of an appropriate competent persons scheme</p> <p><b>Glazing</b> - New and replacement windows and doors to be double glazed with 16mm argon gas and soft coat low-E glass. Window Energy Rating to be Band B or better and to achieve U-value of 1.4 W/m<sup>2</sup>K. To be safety glazing within 1500mm above floor level in doors and side panels within 300mm of door opening and within 800mm above floor level in windows.</p> <p><b>Heating</b> Extend all heating and hot water services from existing and provide new TRVs to radiators. Heating system to be designed, installed, tested and fully certified by a GAS SAFE registered specialist.</p>
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**Photovoltaics**  
Install new 12 No. 2 rows of 6 No. array of Photovoltaic units to the new dormer roof as shown. Photovoltaics to be Vertex S. Backsheet Monocrystalline Module, TSM-DE09.05, 395W, ultra thin Photovoltaic Units, fixed to dormer roof using a Schletter on roof mounting system (hidden Steel brackets system fixed to the existing roof structure), include for Solis single phase solar inverter and Give Energy, Tesla Powerwall Battery system - all to be installed internally within the building. All to be installed to the manufacturers design and recommendations

**Ground Floor Plan As Proposed**  
Scale 1:100@A3

**ISSUED FOR PLANNING**

NO. 241203	DATE: 2023	PROJECT: 241203	DATE: 2023
NO. 241203	DATE: 2023	PROJECT: 241203	DATE: 2023

**TJMEARCHITECTS**

Creative Consultancy - Imaging Design, Time Architects 235-238 Rivington Lane, Duffield, G42Z  
Registered Company Number 512946 and 512947  
W: www.tjmearchitects.co.uk E: info@tjmearchitects.co.uk T: 01224 602414  
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**Demolitions**  
Existing external walls, internal partitions, staircase, doors, windows and kitchen units to be carefully removed, shown dotted

**New Foundations**  
New foundations are to be concrete strip foundations 600mm width, depth to suit ground conditions and to be confirmed on site. High Alumina concrete must not be used.

**Structural Items**  
All structural openings and supports to removed items, including new roof structure and removal of the chimney breasts to ground and first floors to the design and spec of the S. Eng All steel beams to be fully encased and achieve 30mins fire resistance.

**New Solid Ground Floor**  
New floor construction throughout, finish (to be confirmed by the client) laid on sand cement screed with u/f heating incorporated on 100mm Kingspan Kooltherm K7 rigid board insulation, on 150mm concrete floor slab on low density polyethylene 300mu, 1200 gauge, Visqueen DPM laid on 50mm sand binding on well compacted hardcore fill all to achieve a u-value of 0.13W/m<sup>2</sup>K. NOTE Existing stone slabs to be retained for external use.

**New External Walls**  
To achieve a u-value of 0.18W/m<sup>2</sup>K  
External walls to be stonework/ blockwork cavity external wall construction with 12.5mm internal plasterboard and skim finish, 100mm lightweight blockwork k value 0.15 inner leaf, 100mm Kingspan kooltherm K08 cavity wall insulation, 50mm cavity and 100mm external leaf local stone to match the existing and all to achieve a u-value of 0.18W/m<sup>2</sup>K

**Upgrade of Existing Roof**  
Roof construction - C24 rafters at max 400mm centres span to engineer's details. Insulation to be 100mm Kingspan Thermaplych between rafters with Kingspan kooltherm 57.5mm insulated plasterboard below. Maintain a 50mm air gap above insulation to ventilate roof. Provide opening at eaves level at least equal to continuous strip 25mm wide and opening at ridge equal to continuous strip 5mm wide to promote ventilation or provide equivalent high and low level tile vents in accordance with manufacturer's details. Provide 5mm skim coat of finishing plaster to the underside of all ceilings. Allow for replacing roof tiles with new Marley Elermit fibre cement tiles

**New & Existing Pitched Roof**  
New roof to be Marley Elermit fibre cement tiles to match the existing building on SW timber battens and counterbattens on Tyvek Supro breathable membrane on SW timber rafters to S. Eng's size and specification and with 100mm Kingspan Kooltherm K7 rigid roof board insulation laid between rafters and 62.5mm Kingspan Kooltherm K18 Insulated Dry-Lining fixed to the underside all to achieve a U-Value of 0.15W/m<sup>2</sup>K

**Lintels** - over masonry openings in external walls to be Catnic lintels sized appropriate to the opening and to all manufacturers recommendations. Install pre cast concrete relieving lintels over drains under masonry walls

**Draught Sealing** - mastic seals & tapes to be provided to all doors, windows, sealing around service entries and around light fittings etc

**Internal Partitions**  
Form new 125mm overall timber stud partitions consisting of 12.5mm plasterboard to each face, 100 x 50mm timber studs at 600mm c/c's and 25mm Isovol insulation between studs as shown

**Internal Doors**  
Internal doors to be 763 x 1981mm doors, style to be confirmed by the client.

**Smoke Detection**  
Mains operated linked smoke alarm detection system to be mains powered with battery back up to be placed on each storey with an additional interlinked heat detector at ceiling level in kitchens

**External Doors**  
External doors to be uPVC fully double glazed, 1275mm x 2100mm, door and half leaf powder coated aluminium, fully double glazed, 3 leaf, 3000mm x 2100mm folding/ sliding door as shown.

**New Rainwater Goods**  
New gutters to match existing, downpipes to be standard 68mm plastic rainwater pipes to drain to new gully connected to existing drains

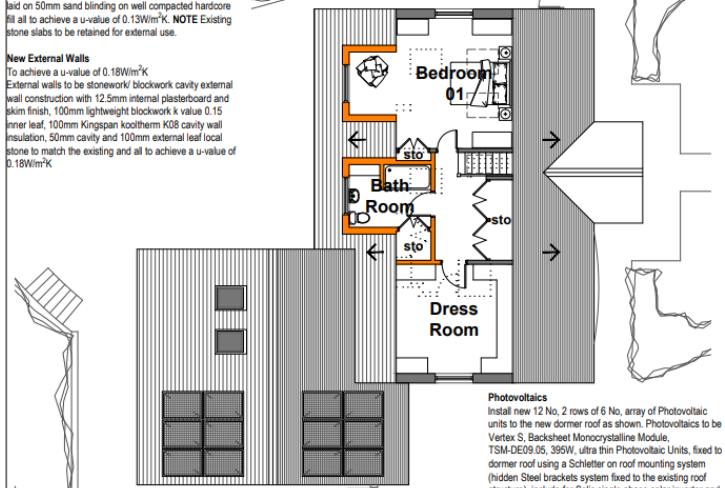
**Windows**  
Windows to be uPVC fully double glazed operable casement windows to match existing. Insulated plasterboard to be used in reveals to about jambs. Fully insulated and continuous cavity closers to be used around reveals. Provide emergency egress windows to any newly created first floor habitable rooms and ground floor inner rooms with an operable area that is at least 0.33m<sup>2</sup> and have no dimension less than 450mm high or 450mm wide.

**Rooflights**  
New 4 No. Velux GGL MK04 780 x 980mm and 1 No. Velux 780mm x 624mm MK27 centre pivot rooflights as shown

**Dormer Walls**  
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**New Staircase**  
Existing ground floor to first floor staircase to be removed and replaced with new ground floor to first floor staircase, to be sw timber staircase to consist of 13 No risers as shown, treads to be 220mm, risers to suit change in level to maximum 42 degree rake and with bullnose nosing, include for 48mm diameter sw timber handrail fixed to adjacent wall on wall brackets and on balustrading all at 900mm above the rake of the stair.

**Photovoltaics**  
Install new 12 No. 2 rows of 6 No. array of Photovoltaic units to the new dormer roof as shown. Photovoltaics to be Vertex S, Backsheet Monocrystalline Module, TSM-DE09.05, 395W, ultra thin Photovoltaic Units, fixed to dormer roof using a Schletter on roof mounting system (hidden Steel brackets system fixed to the existing roof structure), include for Solis single phase solar inverter and Give Energy, Tesla Powerwall Battery system - all to be housed internally within the building. All to be installed to the manufacturers design and recommendations



**First Floor Plan As Proposed**

Scale 1:100@A3

**Background Ventilation**  
Background ventilation via trickle vents within the window frame to new habitable rooms at a rate of min 8000mm<sup>2</sup>; and to kitchens, bathrooms, WCs and utility rooms at a rate of 4000mm<sup>2</sup>

**Wall and Ceiling Finishes** - finishes to all rooms to be 3mm skim finish on plasterboard/ partitions, wall, ceilings and timberwork are to be emulsion painted, satin paint to all timber skirtings, decorative woodstain to all exposed timber boarding. No of primers, undercoats and finishing coats to all manufacturers recommendations

**Sanitaryware**  
New bathroom suite to be supplied by the client and to include bath, shower, wc and basins as shown. NOTE allow for installation. Contractor to allow for new domestic style 1515 Bathroom mechanical extract vent through the external wall with 15min overrun and connected to the light switch to all bathroom and wc areas.

**Kitchen/ Utility Units & Appliances**  
New Kitchen & utility units all to be supplied by the client. Contractor to allow for new domestic style 30lit mechanical extract vent through the external wall (allow for installation)

**Electrics**  
All new light fittings to be low energy units, type, number and locations all to be confirmed by the client on site, new light switches to be stainless steel domestic style, switch locations to be confirmed by the client on site. All new electrical sockets etc to be stainless steel domestic style number and locations all to be confirmed by the client on site and installed 450mm above FFL or min 150mm above Utility work surface. All electric works to be carried out by a member of an appropriate competent persons scheme

**Glazing** - New and replacement windows and doors to be double glazed with 16mm argon gap and soft coat low-E glass. Window Energy Rating to be Band B or better and to achieve U-value of 1.4 W/m<sup>2</sup>K. To be safety glazing within 1500mm above floor level in doors and side panels within 300mm of door opening and within 800mm above floor level in windows.

**Heating**  
Extend all heating and hot water services from existing and provide new TRVs to radiators. Heating system to be designed, installed, tested and fully certified by a GAS SAFE registered specialist.

ISSUED FOR PLANNING

NO.	DATE	BY	DESCRIPTION
1	11/08/24	ML	ISSUED FOR PLANNING
SHEET NO. 01 PROJECT: THE AVENUE, WORTLEY DRAWN BY: ML CHECKED BY: ML FIRST FLOOR PLAN AS PROPOSED			
			241203 203

**TIMEARCHITECTS**

Creative Consultancy - Building Design, Time Architects 235-238 Holme Lane, Sheffield, S14CZ  
 Registered Company Number 7429049 and Water 8033353, Director: Richard Lupton  
 Tel: 0114 2761444  
 www.timearchitects.co.uk  
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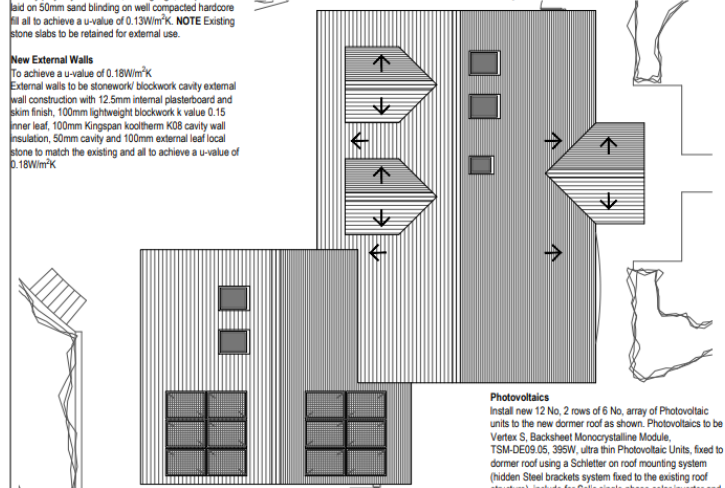
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**Roof Plan As Proposed**

Scale 1:100@A3

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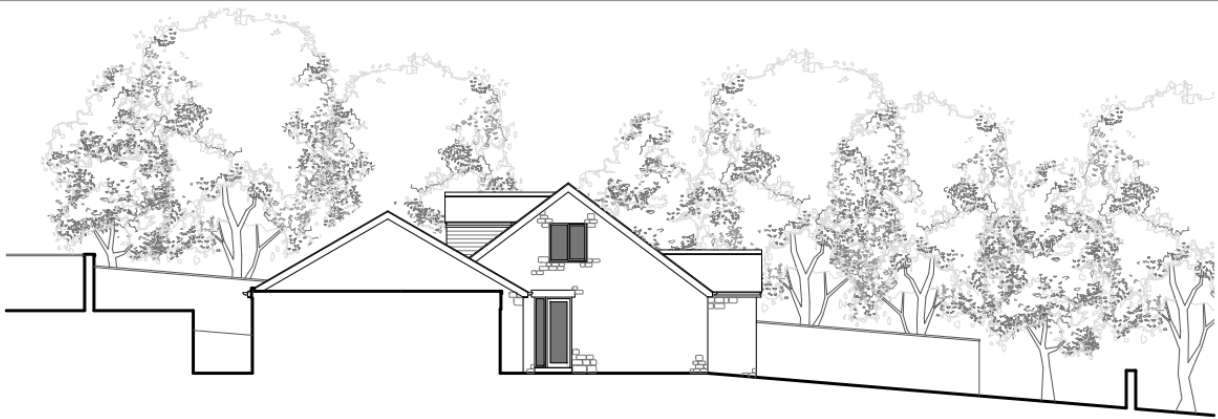
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ISSUED FOR PLANNING

NO.	DATE	BY	DESCRIPTION
1	11/08/24	ML	ISSUED FOR PLANNING
SHEET NO. 02 PROJECT: THE AVENUE, WORTLEY DRAWN BY: ML CHECKED BY: ML ROOF PLAN AS PROPOSED			
			241203 204

**TIMEARCHITECTS**

Creative Consultancy - Building Design, Time Architects 235-238 Holme Lane, Sheffield, S14CZ  
 Registered Company Number 7429049 and Water 8033353, Director: Richard Lupton  
 Tel: 0114 2761444  
 www.timearchitects.co.uk  
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**South Facing Elevation As Proposed**

Scale 1:100@A3



**East Facing Elevation As Proposed**

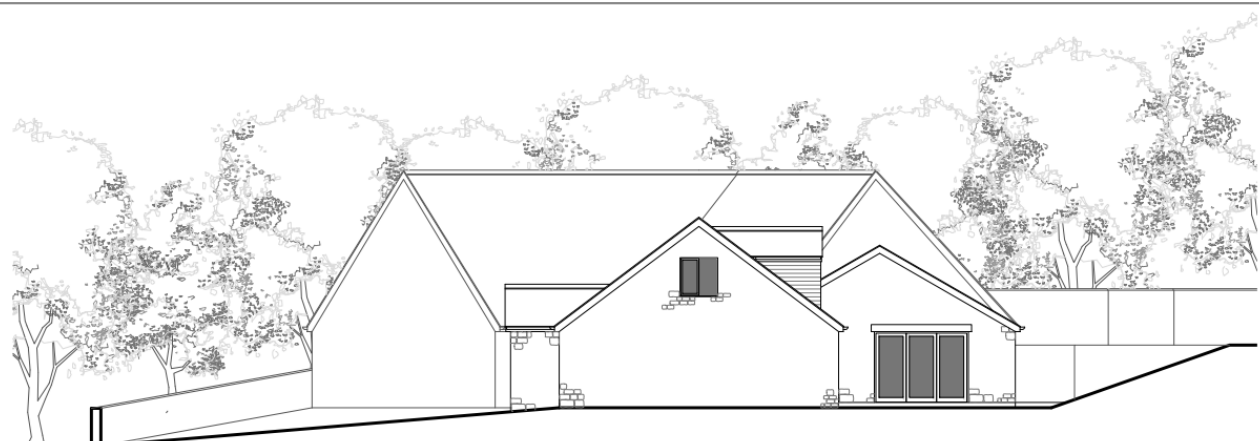
Scale 1:100@A3

**ISSUED FOR PLANNING**

REVISED DATE	DRAWN	CHECKED	DESCRIPTION	SCALE	DATE
	MIR KEVIN HOPE			1:100@A3	DEC 2024
PROJECT: BENVENUTO, THE AVENUE, WORTLEY					
ELEVATIONS AS PROPOSED					
SHEET 2 OF 2					

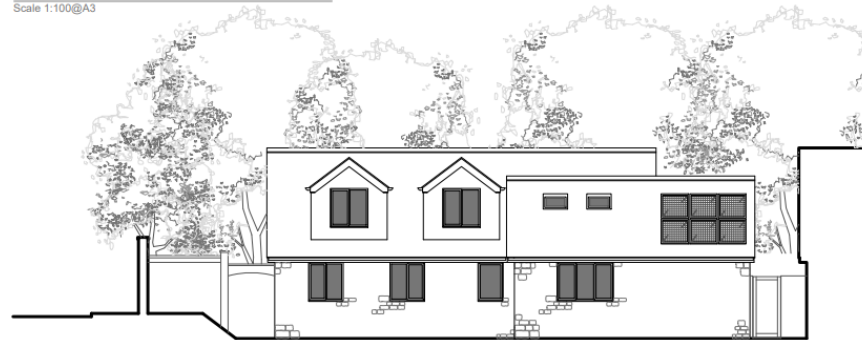
**T|MEARCHITECTS**

Creative Conservation - Inspiring Design. Time Architects 235-239 Holme Lane, Sheffield, S642  
 Registered Company Number in England and Wales: 8523363, Director: Richard Leigh  
 W: www.timearchitects.co.uk & info@timearchitects.co.uk T: 0114 422 2114  
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**North Facing Elevation As Proposed**

Scale 1:100@A3



**West Facing Elevation As Proposed**

Scale 1:100@A3

**ISSUED FOR PLANNING**

REVISED DATE	DRAWN	CHECKED	DESCRIPTION	SCALE	DATE
	MIR KEVIN HOPE			1:100@A3	DEC 2024
PROJECT: BENVENUTO, THE AVENUE, WORTLEY					
ELEVATIONS AS PROPOSED					
SHEET 2 OF 2					

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## Policy Context

Planning decisions should be made in accordance with the current development plan policies unless material considerations indicate otherwise; the National Planning Policy Framework (NPPF) does not change the statutory status of the development plan as the starting point for decision making. The Local Plan was adopted in January 2019 and is accompanied by seven masterplan frameworks which apply to the largest site allocations (housing, employment, and mixed-use sites). In addition, the Council has adopted a series of Supplementary Planning Documents and Neighbourhood Plans which provide supporting guidance and specific local policies which are a material consideration in the decision-making process.

The Local Plan review was approved at a full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering on its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review, which is due to take place in 2027, or earlier, if circumstances require it.

### Local Plan Allocation – Urban Fabric

The site is allocated as urban fabric in the adopted Local Plan which has no specific land allocation. It is also located in the Wortley Conservation Area and therefore the following policies are relevant:

- ***Policy SD1: Presumption in favour of Sustainable Development.***
- ***Policy HE1: The Historic Environment.***
- ***Policy HE4: Developments affecting Historic Areas or Landscapes.***
- ***Policy GD1: General Development.***
- ***Policy POLL1: Pollution Control and Protection.***
- ***Policy D1: High quality design and place making.***
- ***Policy T4: New Development and Transport Safety.***

### Supplementary Planning Document(s)

- ***House Extensions and Other Domestic Alterations (Adopted March 2024).***
- ***Parking (Adopted November 2019).***

### National Planning Policy Framework (December 2024)

The NPPF sets out the Government's planning policies and how these are expected to be applied. The core of this is a presumption in favour of sustainable development. Proposals that align with the Local Plan should be approved unless material considerations indicate otherwise. In respect of this application, relevant policies include:

- ***Section 12: Achieving well-designed places.***

*Paragraph 135. Planning policies and decisions should ensure that developments:*

- a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;*
- b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;*
- c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);*

d) establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit;

e) optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and

f) create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.

– **Section 16: Conserving and enhancing the historic environment.**

*Paragraph 219. Local planning authorities should look for opportunities for new development within Conservation Areas and World Heritage Sites, and within the setting of heritage assets, to enhance or better reveal their significance. Proposals that preserve those elements of the setting that make a positive contribution to the asset (or which better reveal its significance) should be treated favourably.*

Planning (Listed Buildings and Conservation Areas) Act 1990

- **Section 16: Decision on application.**
- **Section 72: General duty as respects conservation areas in exercise of planning functions.**

Other Material Considerations

- **South Yorkshire Residential Design Guide 2011 (SYRDG).**
- **Planning Practice Guidance.**

**Consultations**

Conservation Officer	<i>No objection.</i>
Forestry Officer	<i>There don't appear to be any trees of note within influencing distance of the proposed works and as such I have no comments to make.</i>

**Representations**

Neighbour notification letters were sent to surrounding properties. A site notice was placed nearby, expiring 14<sup>th</sup> March 2025. No representations were received.

## Assessment

For the purposes of considering the balance in this application, the following planning weight is referred to in this report using the following scale:

- Substantial
- Considerable
- Significant
- Moderate
- Modest
- Limited
- Little or no

### Principle of Development

Extensions and alterations to a dwelling are acceptable in principle if the development would remain subservient and would be of a scale and design which would be appropriate to the host property and would not be detrimental to the amenity afforded to adjacent properties, including visual amenity and highway safety. Development should respect, conserve and enhance the significance and setting of the borough's heritage assets and should not significantly alter or detract from the character of the street scene.

### Residential Amenity

Extensions and alterations to a domestic property are acceptable if the proposed development would not adversely affect the amenity of neighbouring properties.

Regarding overshadowing, the proposed extension would replace an existing extension of a similar scale and would be erected to the north of adjacent Hi Gables. The proposed porch would be erected away from surrounding neighbouring properties. It is therefore anticipated that any potential impact would occur and be limited to the application curtilage and would not be detrimental to the amenity of the occupant(s) of Hi Gables.

Regarding overlooking and loss of privacy, apertures would be located on the east, west and north elevations of the proposed extension. The south elevation would be blank. The apertures would face into the application curtilage and would largely maintain existing separation distances. New first floor windows would be located on the north and south gable elevations of the existing dwelling and two dormer windows would be installed on the rear roof pitch. The first-floor window on the south gable elevation would face towards to the front habitable room windows of Hi Gables but would serve non-habitable space within the application dwelling. Nonetheless, this window will be conditioned to be obscure glazed to maintain the amenity of the occupant(s) of Hi Gables. A sufficient separation distance would be maintained between the proposed dormer windows and properties along Halifax Road. It is also not considered that the proposal would result in reduced levels of outlook.

It is acknowledged that there could be some disruption and nuisance caused to people in the locality during construction and demolition works. However, any potential impact would be anticipated to be temporary and construction hours will be controlled by condition.

Subject to conditions, this is considered to weigh significantly in favour of the proposal.

*The proposal is therefore considered to comply with Local Plan Policy GD1: General Development and would be acceptable regarding residential amenity.*

## Visual Amenity

Extensions and alterations to an existing domestic property are acceptable if the development would remain subservient and would be of a scale and design appropriate to the host property and would respect, conserve and enhance the significance and/or setting of the borough's heritage assets and would not significantly alter or detract from the character of the street scene.

The application dwelling is located within the Wortley Conservation Area and adjacent to the grade II-listed Wortley Hall historic park and garden. There are several grade II-listed assets in the locality, including the grade II-listed 6 Church View, Halifax Road approximately 22 metres to the south-west.

The Council's Conservation Officer was consulted on the proposal, and it was stated that the building in question is a later C20 bungalow of little historic merit located within a small enclave to Hi Gables to the south and at the centre of the Wortley Conservation Area. However, despite its location, the application dwelling is relatively hidden, being on the western spur of The Avenue that serves Home Farm Court, and despite its modern age, is generally recessive in appearance, being constructed of stone and artificial slate. As such, it is considered that the application dwelling is a neutral element in the conservation area. It is also not considered that the site location is especially sensitive in the conservation area, being away from the Halifax Road, Church View and Park Avenue where the bulk of historic and listed buildings that contribute the most are located.

Regarding the proposal, the Council's Conservation Officer stated that they would be restrained and unlikely to cause harm to the conservation area or the setting of listed buildings close by. In terms of scale and massing, the main change is the pitched roof in place of the flat roof and the west facing dormers. The pitched roof raises no concern, and dormers are visible on several dwellings close by including Church View Cottages to the west and Rose Cottage to the south. The photovoltaics may be seen from the rear of properties along Halifax Road and potential glimpsed views in-between buildings. However, it is considered that any views potentially affected are not primary views or ones that contribute strongly to the conservation area. As such, no objections were raised.

The proposed porch would adopt a modest scale and would adopt a sympathetic form and features, including a gable pitched roof and closely matching external materials.

The proposed side and rear single storey extension would replace an existing extension of a similar scale and would adopt a sympathetic form and features, including a pitch roof and closely matching external materials. The extension would appear subservient and would not adopt an excessive side projection more than two thirds the width of the original dwelling.

The proposed dormer windows would be installed on the rear roof pitch of the existing dwelling and would adopt a relatively modest scale, would be positioned centrally within the roof plane and would be set away from the eaves, gable and ridge, and would adopt pitched roofs and be constructed of closely matching external materials.

Subject to conditions, this is considered to weigh significantly in favour of the proposal.

*The proposal is therefore considered to conserve or enhance the character and appearance of the Wortley Conservation Area in accordance with Section 72(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 and would comply with Local Plan Policy D1: High Quality Design and Placemaking, HE1: The Historic Environment and HE4: Developments affecting Historic Areas or Landscapes and is acceptable regarding visual amenity.*

## Highway Safety

The proposed development would not be prejudicial to highway safety as, whilst the proposal would result in the loss of an existing attached garage, the existing shared site access and off-street parking

arrangements to the front of the application dwelling would be retained and could accommodate the minimum required parking spaces in accordance with the Parking SPD.

Considering the above, this is considered to weigh moderately in favour of the proposal.

*The proposal is therefore considered to comply with Local Plan Policy T4: New Development and Transport Safety and would be acceptable regarding highway safety.*

#### Planning Balance and Conclusion

For the reasons given above, and taking all other matters into consideration, the proposal constitutes acceptable development in respect of highway safety and residential and visual amenity and would comply with national and local planning policies and guidance.

**Recommendation -  
Approve with Conditions**