

Application Reference Number:	2025/0867.
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Application Type:	Full.
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Proposal Description:	Erection of outbuilding (retrospective) to be used for golf simulator business.
Location:	5 Willow Bank, Barnsley, S75 1BN.

Applicant:	Mr Scott Keen.
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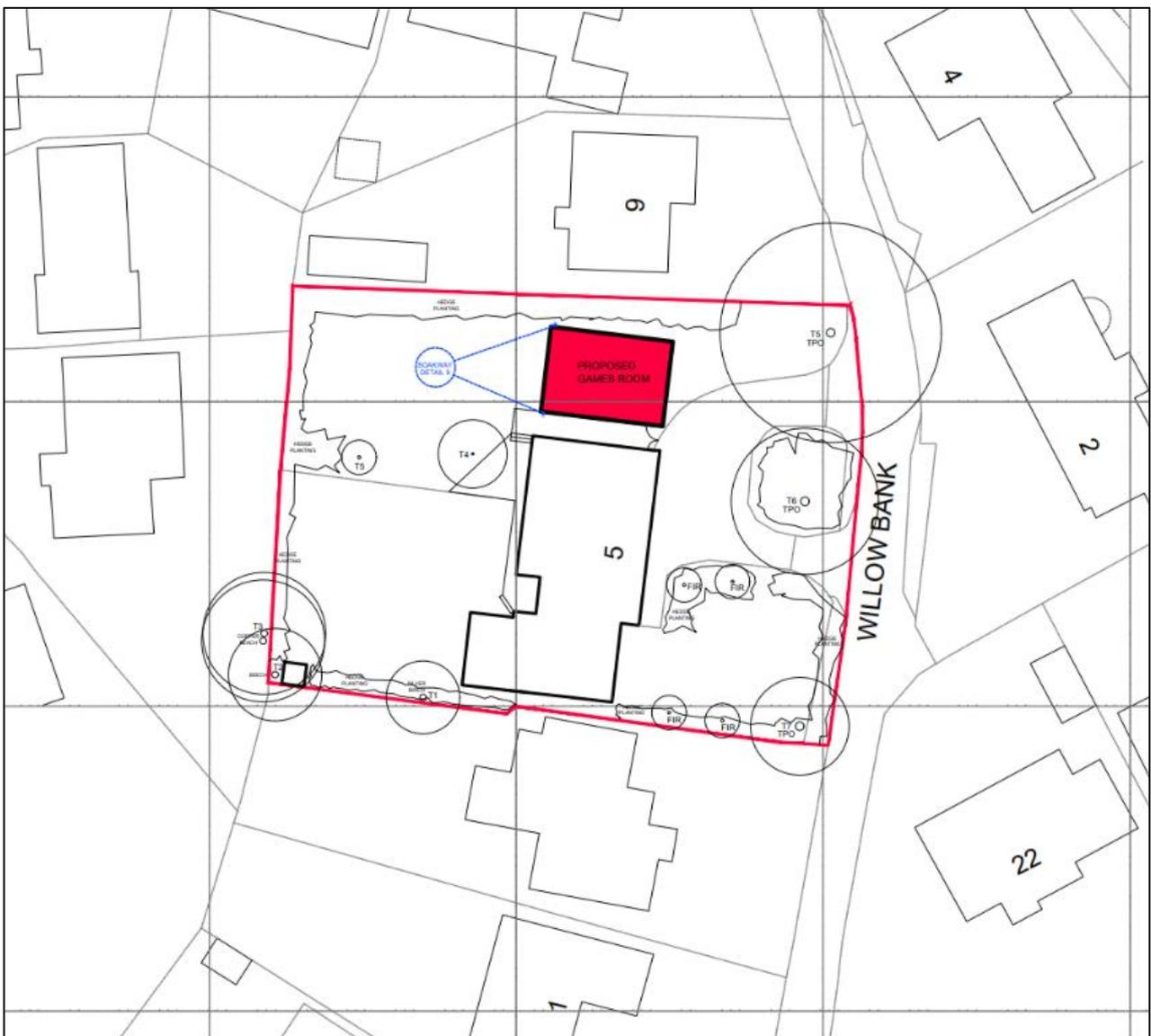
Third-party representations:	None.	Parish:	
		Ward:	Old Town.

<p>Summary:</p> <p>The applicant is seeking planning permission for the erection of outbuilding (retrospective) to be used for golf simulator business.</p> <p>Non-residential uses within residential settings are considered acceptable where the majority of the floorspace would remain as residential and adequate parking would be provided. The development will be expected to demonstrate that it is not likely to result, directly or indirectly, in an increase in air, surface water and groundwater, noise, smell, dust, vibration, light or other pollution which would unacceptably affect or cause a nuisance to the natural and built environment or people.</p> <p>The proposal would have no adverse impact on residential or visual amenity or health and pollution control, or highway safety.</p> <p>The proposal is therefore considered to be an acceptable and sustainable form of development in accordance with Section 2 of the National Planning Policy Framework (NPPF, 2024).</p> <p>Recommendation: APPROVE subject to conditions.</p>
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Site Description

This application relates to a modest plot located on the west side of Willow Bank, close to the junction with Smithies Lane and in an area that is principally residential characterised by detached dwellings of varying scale and appearance.

The property in question is a part single-storey and part two-storey detached dwelling with converted roof space constructed of stone. It features an asymmetrical street-facing gable and a red and brown tiled pitched roof. To the rear is an existing flat roof dormer extension built off the rear external wall of the dwelling and incorporating a first-floor balcony. A single storey flat roof rear extension is also present. The rear garden is modest and extends to the north side of the dwelling where an existing detached outbuilding is located. The development site is bounded by a mix of trees, hedgerows and other vegetation some of which are protected.



Planning History

2018/1532	Erection of two storey dwellinghouse and associated access and landscaping.	Approved.
2021/1705	First floor side extension including new roof with an increased roof ridge height compared with the existing dwelling and changes to the window arrangements including replacement and new windows to the front, rear and side.	Approved.
2023/0777	Replacement of existing rear conservatory with single storey extension.	Approved.
2024/0947	Erection of detached single storey outbuilding for use as games room/home office.	Approved.

Proposed Development

The erection of detached single storey outbuilding for use as games room/home office was approved under planning application 2024/0947.

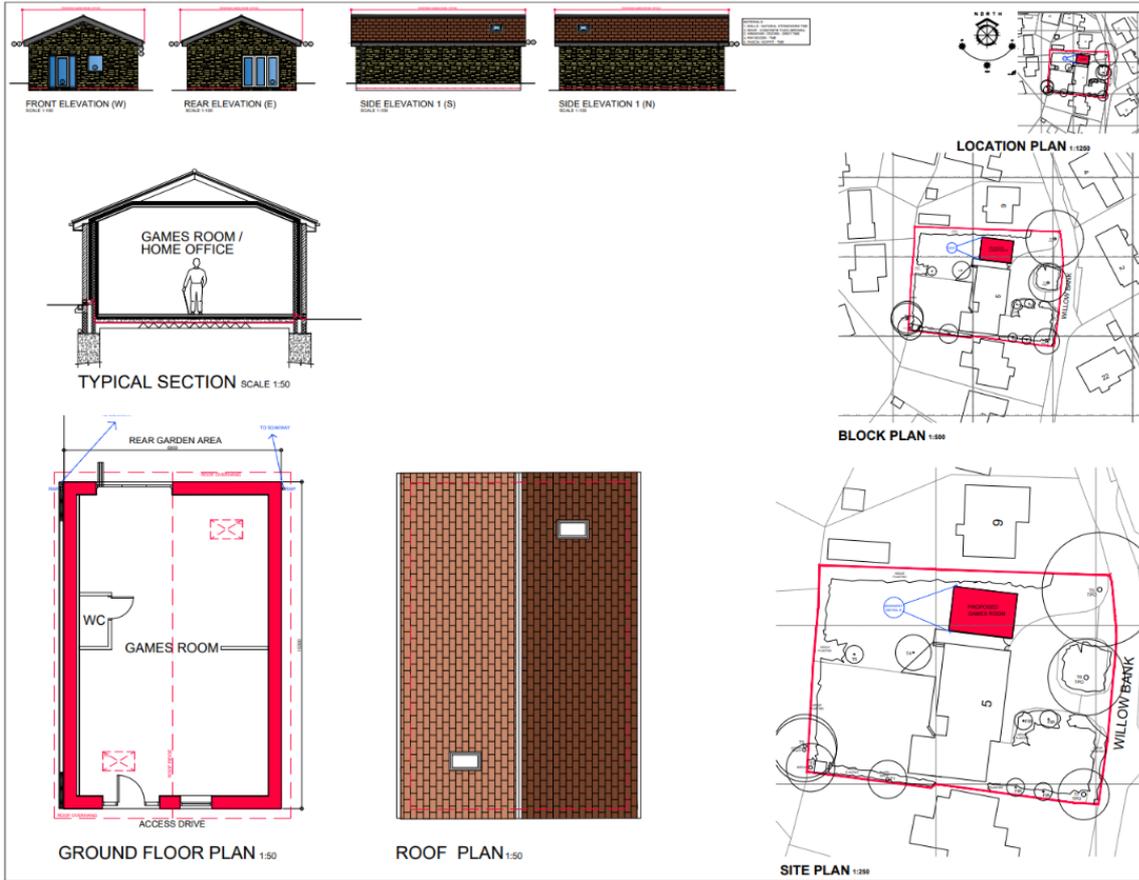
It is understood the outbuilding was not built in accordance with the approved plans under planning application 2024/0947 and as such, the Applicant is seeking planning permission retrospectively for the outbuilding as built. The differences include a slight reduction in width and increase in length and aperture size and placement.

The outbuilding as built measures approximately 6.8 metres (W) x 10.3 metres (L) x 4.7 metres (H) and is constructed of closely matching external materials comprising stone and roof tiles as approved under planning application 2024/0947.

Notwithstanding the above, the planning permission for the erection of an outbuilding granted under planning application 2024/0947 was subject to a condition restricting its use to uses ancillary to the main dwelling and not for any trade or business purposes or as a separate residential use of annexe.

The applicant is therefore also seeking planning permission for the use of the outbuilding as a golf simulator business. It is anticipated that there would be a maximum of 2-3 booking slots per day with 30-minute intervals between each slot. There would be a maximum of three people in the simulator at any time and bookings would be taken in advance with no walk-ins, and the business is proposed to operate during the following times:

- Monday – Friday between 10:00am – 19:00pm.
- Saturday between 09:00am – 18:00pm.
- Sundays and Bank Holidays 09:00am – 16:00pm.



Revision	Date	By	Description

Notes:

N/P ARCHITECTURAL LTD

Project:
5 WILLOW BANK BARNESLEY S75-1BN

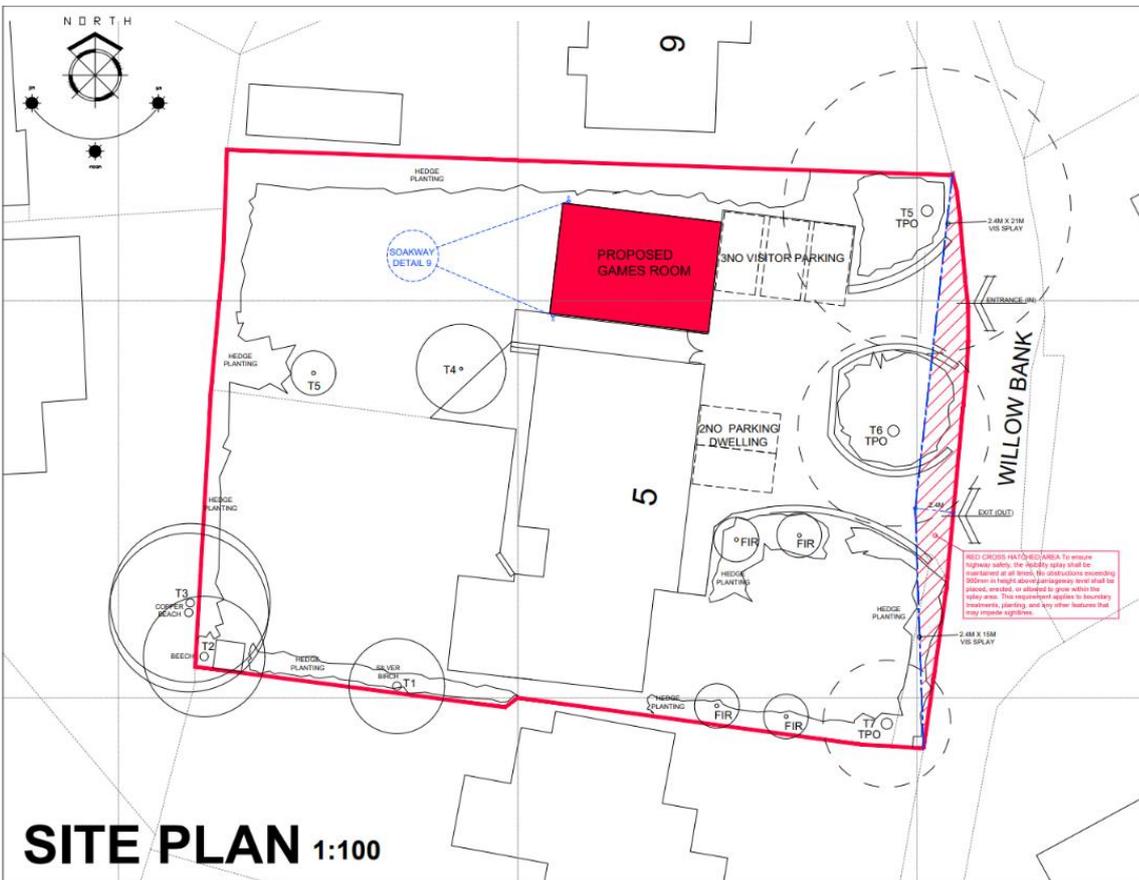
Drawing Title:
CHANGE OF USE PLAN ELEVATIONS & SECTIONS

Client:
S KEEN

Date:
OCT 2025

Scale:
AS INDICATED

Rev:
2025/29 CH01



Revision	Date	By	Description

Notes:

N/P ARCHITECTURAL LTD

Project:
5 WILLOW BANK BARNESLEY S75-1BN

Drawing Title:
CHANGE OF USE GAMES ROOM SITE PLAN

Client:
S KEEN

Date:
DEC 2025

Scale:
AS INDICATED

Rev:
2025/29 CH02

Relevant Policies

The Development Plan

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires development proposals to be determined in accordance with the development plan unless material considerations indicate otherwise. The Development Plan for Barnsley consists of the Barnsley Local Plan (adopted January 2019).

The Local Plan review was approved at a full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering on its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review, which is due to take place in 2027, or earlier, if circumstances require it.

The development site is allocated as urban fabric within the adopted Local Plan which has no specific allocation. The following Local Plan policies are relevant in this case:

- *Policy SD1: Presumption in favour of Sustainable Development.*
- *Policy GD1: General Development.*
- *Policy POLL1: Pollution Control and Protection.*
- *Policy T4: New Development and Transport Safety.*
- *Policy D1: High quality design and place making.*
- *Policy TC1: Town Centres.*

National Planning Policy Framework (NPPF) and the National Planning Practice Guidance

In December 2024, the Government published a revised NPPF which is the most recent revision of the original Framework, first published in 2012 and updated several times, providing the overarching planning framework for England. The NPPF sets out the Government's planning policies for England and how they are expected to be applied. The NPPF must be taken into account in the preparation of local and neighbourhood plans and is a material consideration in planning decisions. The revised document has replaced the earlier planning policy statements, planning policy guidance and various policy letters and circulars, which are now cancelled.

Central to the NPPF is a presumption in favour of sustainable development (paragraph 10) and plans and decisions should apply this presumption in favour of sustainable development (paragraph 11). There are three dimensions to sustainable development: economic, social and environmental; each of these aspects are mutually dependent. The following NPPF sections are relevant in this case:

- *Section 2: Achieving sustainable development.*
- *Section 4: Decision-making.*
- *Section 12: Achieving well designed places.*

The National Design Guidance (2019) is a material consideration and sets out ten characteristics of well-designed places based on planning policy expectations. A written ministerial statement states that local planning authorities should take this guidance into account when taking decisions.

Supplementary Planning Guidance

In line with the Town and Country Planning (Local Planning) (England) Regulations 2012, Barnsley has adopted twenty-eight Supplementary Planning Documents (SPDs) following the adoption of the Local Plan in January 2019. The following SPDs are relevant in this case:

- *Residential amenity and the siting of buildings (Adopted May 2019).*
- *Parking (Adopted November 2019).*

The adopted SPDs should be treated as material considerations in decision making and are afforded full weight.

Representations

This planning application has been advertised in accordance with Article 15 of the Town and Country Planning Development Management Procedure (England) Order 2015 (as amended).

Any neighbour sharing a boundary with the site has been sent written notification and the application has been advertised on the Council website.

No representations have been received.

Consultations

Highways Development Control	<i>No objection(s) subject to condition(s).</i>
Pollution Control	<i>No objection(s).</i>
Local Ward Councillors	<i>No comments received.</i>

Planning Assessment

For the purposes of considering the balance in this application, the following planning weight is referred to in this report using the following scale unless the NPPF establishes a specific weight:

- Substantial
- Considerable
- Significant
- Moderate
- Modest
- Limited
- Little or no

Principle of Development

Extensions and alterations to a dwelling are acceptable in principle if the development would remain subservient and would be of a scale and design which would be appropriate to the host property and would not be detrimental to the amenity afforded to adjacent properties, including visual amenity and highway safety.

Non-residential uses within residential settings are considered acceptable where the majority of the floorspace would remain as residential and adequate parking would be provided. The development will be expected to demonstrate that it is not likely to result, directly or indirectly, in an increase in air, surface water and groundwater, noise, smell, dust, vibration, light or other pollution which would unacceptably affect or cause a nuisance to the natural and built environment or people.

The proposed use of the outbuilding as a golf simulator business could be considered a leisure use and would therefore fall in the category of main town centre uses as defined by Annex 2: Glossary within the NPPF. As such, an assessment on the impact on local centres is required in this instance in accordance with Local Plan Policy TC1.

The nearest centre is Barnsley Town Centre located approximately 900 metres (as the crow flies) to the south of the development site. Given the very small-scale nature of the proposed golf simulator business and its location, it is unlikely that the proposal would adversely affect the vitality and viability of Barnsley Town Centre which would remain the dominant centre within the borough. The proposal also does not meet the threshold in which a sequential impact assessment would be required in line with Local Policy TC3.

Considering the above, the proposal is considered acceptable in principle subject to an assessment of the following matters.

Impact on Residential Amenity, Health and Pollution Control

It is not considered that the proposal would contribute to significant overshadowing, overlooking and loss of privacy, or reduced outlook impacts which may otherwise adversely affect the amenity of the occupants of the application and neighbouring properties. While it is acknowledged that the as built outbuilding does differ from the approved scheme, these differences, including a reduction in width (approximately 0.2 metres), increase in length (approximately 0.3 metres), and changes to aperture size and placement are very minor and somewhat negligible. The eaves and ridge height is unaltered and the overall floorspace created remains unchanged. The assessment undertaken under planning application 2024/0947 regarding overshadowing, privacy and outlook therefore remains relevant and accurate, and the proposal remains acceptable in this regard.

The proposed golf simulator business could have some impact on residential amenity. However, the proposed business use would operate with a maximum of 2-3 booking slots per day with 30-minute intervals between each slot and a maximum of 3 people at any time. The proposed operating hours are reasonable for a residential setting and could be conditioned to lessen the extent of any potential impacts in relation to noise and disturbance. It is also acknowledged that the golf simulator could be used personally by the occupants of the application dwelling without planning permission. This could result in a more intensified use that could not be controlled by the local planning authority (LPA). In addition, the outbuilding is separated from the application dwelling and distanced from surrounding neighbouring properties with vegetation screening in-between. This could act to lessen the extent of any potential impact regarding noise and disturbance. Moreover, the Council's Environmental Health Officer (Pollution Control) was consulted, and no objections were received.

Considering the above, this is considered to weigh significantly in favour of the proposal.

The proposal is therefore considered to comply with Local Plan Policy GD1: General Development and Local Plan Policy POLL1: Pollution Control and Protection and is considered acceptable regarding residential amenity.

Impact on Highways

The development site benefits from a semi-circular driveway with both northern and southern access points off Willow Bank. Willow Bank is a lightly trafficked single-track road with a general approximate width of 3 metres and there is not footway provision to either side of the road.

The application form indicates that 8no. off-street parking spaces would be provided within the site comprising of 5no. existing spaces and 3no. proposed new spaces. Highways Development Control were consulted whom initially sought clarity of where the spaces would be located. It was also noted that visibility could be limited from both existing access points due to the restricted width of the road and lack of footways. A parking layout plan was therefore requested. The Applicant was also asked to demonstrate that the proposed intensification of the site would not detrimentally impact on highway safety suggesting details of any mitigation measures should be provided.

The Applicant submitted an additional plan (2025/29 CH02) which demonstrates that 5no. parking spaces could be accommodated within the development site, which comprises 2no. spaces retained for the existing residential use and 3no. proposed spaces for the business use, in accordance with the Council's Parking SPD. The submitted details indicate the golf simulator is already in use and is regularly attended by family and friends. The intention to operate the facility as a business is primarily seen as a formalisation of the existing arrangements.

Highways Development Control were re-consulted, and it was stated that the proposal would unlikely result in any discernible increase in vehicular movements. Notwithstanding this, it was stated that to

mitigate against any intensified use of the development site, significant improvements to sight lines achieved from both existing access points are included within the proposal. Therefore, no objections were raised from a Highways Development Control perspective subject to conditions.

Considering the above, this is considered to weigh significantly in favour of the proposal.

The proposal is therefore considered to comply with Local Plan Policy T4: New Development and Transport Safety and is considered acceptable regarding highway safety.

Impact on Visual Amenity

It is not considered that the proposal would markedly alter or detract from the character of the street scene or application property. While there have been some minor alterations comprising a reduction in width, increase in length, and aperture size and placement compared with the previously approved scheme under planning application 2024/0947, they do not materially affect the external appearance of the outbuilding as previously approved, which has been constructed of closely matching external materials comprising stone and roof tiles and adopts a gable pitched roof. The previous assessment undertaken under planning application 2024/0947 regarding the impact on visual amenity therefore remains relevant and accurate, and the proposal remains acceptable in this regard.

Considering the above, this is considered to weigh moderately in favour of the proposal.

The proposal is therefore considered to comply with Local Plan Policy D1: High Quality Design and Placemaking and is acceptable regarding visual amenity.

Planning Balance and Conclusion

In accordance with the provision of paragraph 11 of the NPPF (2024), the proposal is considered in the context of the presumption in favour of sustainable development and therefore, for the reasons given above, and taking all other matters into consideration, the proposal complies with the relevant local and national planning policies and guidance. As such, planning permission should be granted subject to necessary conditions.

RECOMMENDATION: Approve subject to conditions.

Justification

Statement of compliance with Article 35 of the Town and Country Development Management Procedure Order 2015.

In dealing with the application, the Local Planning Authority has worked with the applicant to find solutions to the following issues that arose whilst dealing with the planning application:

- Off-street parking provision and visibility sight lines.

Due regard has been given to Article 8 and Protocol 1 of Article 1 of the European Convention for Human Rights Act 1998 when considering representations, the determination of the application and the resulting recommendation. It is considered that the recommendation will not interfere with the applicant's and/or any objector's right to respect for his private and family life, his home and his correspondence.

Conditions:

1. The development hereby approved shall be carried out strictly in accordance with the plans:

2025/29 CH01
2025/29 CH02
Planning Statement

and specifications as approved unless required by any other conditions in this permission.

Reason: In the interests of the visual amenities of the locality and in accordance with Local Plan Policy D1: High Quality Design and Place Making.

2. The use hereby permitted shall be carried out only between the hours of 10:00am – 19:00pm Monday to Friday; 09:00am – 18:00pm Saturdays; and 09:00am – 16:00pm on Sundays and Bank Holidays.

Reason: In the interests of the amenities of local residents and in accordance with Local Plan Policies GD1: General Development and POLL1: Pollution Control and Protection.

3. The business use hereby permitted shall be carried out only by the applicant and only during which time they reside at the premises (5 Willow Bank, Barnsley, S75 1BN). When the premises cease to be occupied by the applicant, the permitted use shall cease, and all materials and equipment brought on to the premises in connection with the use shall be removed.

Reason: To ensure that the use of the property for residential purposes is retained in the interests of highway safety and the free flow of traffic and in accordance with Local Plan Policy T4: New development and Transport Safety.

4. The sight lines indicated on the submitted plan (2025/29 CH02) shall be provided at the access junctions with Willow Bank, such that there is no obstruction to visibility at a height exceeding 0.9m above the nearside edge of the adjacent highway. Nothing shall be erected, retained, planted and/or allowed to grow at or above a height of 0.9m which would obstruct the sight lines, and they shall be always maintained free of obstruction thereafter for the lifetime of the development.

Reason: To ensure drivers have clear and unrestricted views when pulling out onto the public highway in the interest of highway safety and in accordance with Local Plan Policy T4: New Development and Transport Safety.

5. The parking/manoeuvring facilities indicated on the submitted plan (2025/29 CH02) shall be made available for the manoeuvring and parking of vehicles prior to the development being brought into use and shall be retained thereafter.

Reason: To ensure that satisfactory off-street parking/manoeuvring areas are provided in the interests of highway safety and the free flow of traffic and in accordance with Local Plan Policy T4: New development and Transport Safety.

Informative(s):

1. The granting of planning permission does not in any way infer that consent of the landowner is given. Therefore, the consent of all relevant landowners is required before proceeding with any development, including that of the Council as landowner.

If it should transpire that the applicant does not own any of the land included in this consent, then it is the responsibility of the applicant to seek all necessary consents and approvals of the landowner.

2. It is recommended that measures are taken to prevent a nuisance/ or effect the quality of life of local residents. Please note that the Council's Pollution Control Team have a legal duty to investigate any complaints about noise, smoke or dust. No waste should be burnt. If a statutory nuisance is found to exist, they must serve an Abatement Notice under the Environmental Protection Act 1990. Failure to comply with the requirements of an Abatement Notice may result in a fine of up to £20,000 upon conviction in Magistrates' Court. It is therefore recommended that you give serious consideration to the steps that may be required to prevent a noise, dust or smoke nuisance from being created.
3. Should the applicant pursue the installation of signage to identify the premises, they are advised that an application for advertisement consent may need to be submitted to the LPA for consideration.