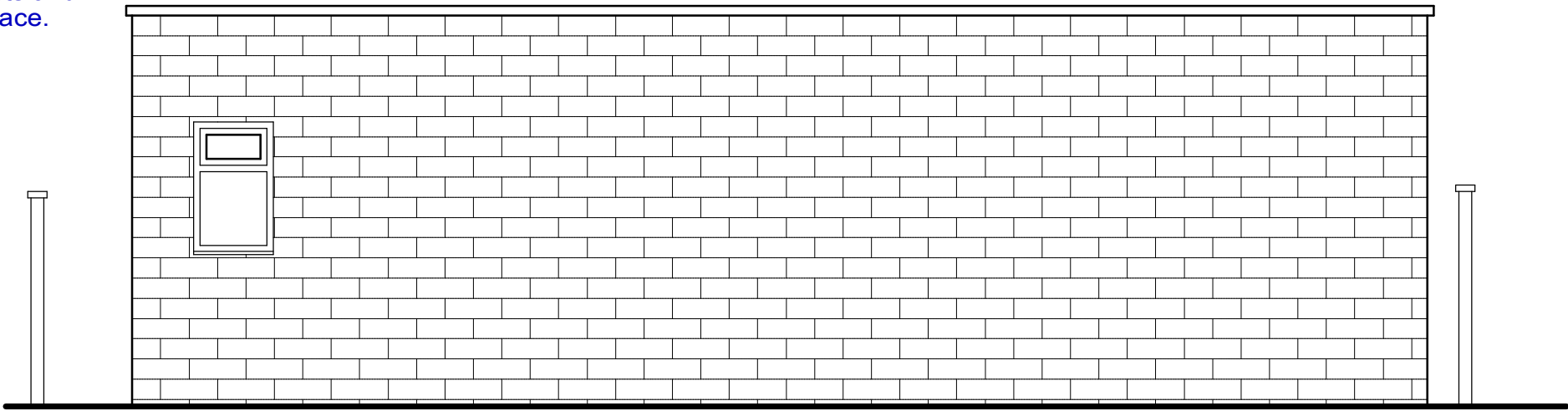
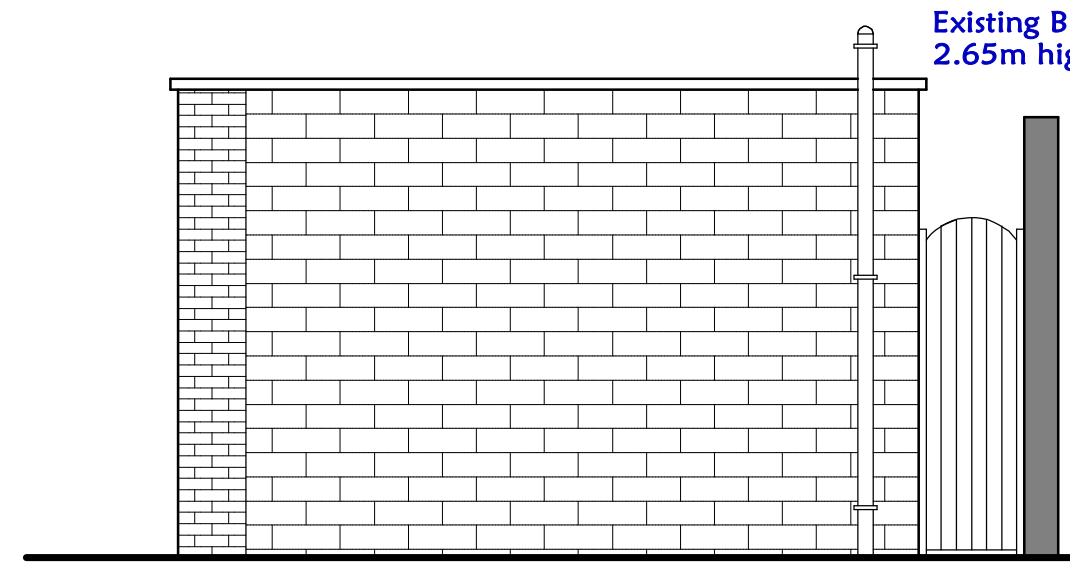


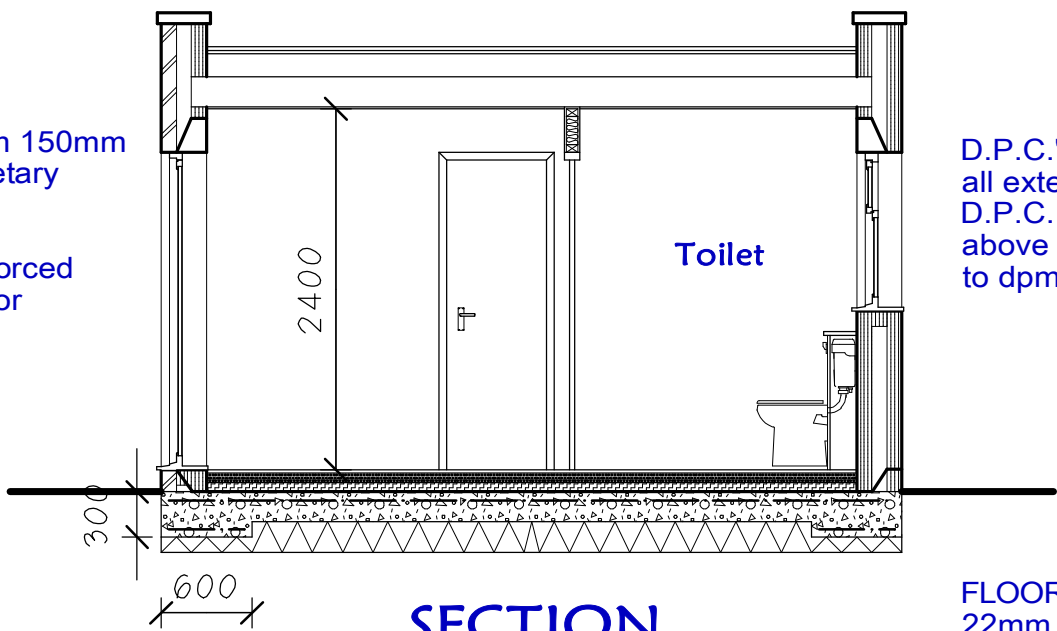
FRONT ELEVATION



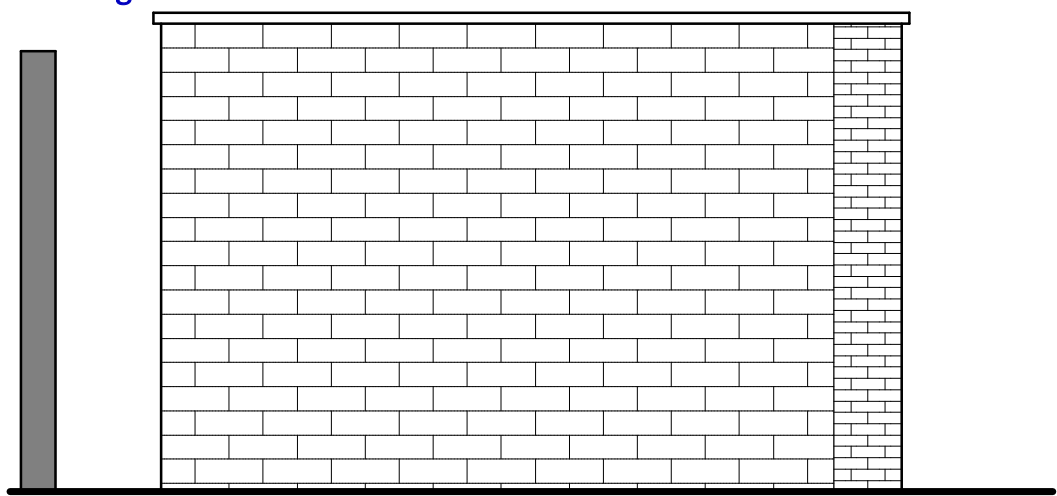
REAR ELEVATION



SIDE ELEVATION



SECTION



SIDE ELEVATION

Gutter and rainwater pipes to be U.P.V.C.
Gutter to be 100mm
Downpipes to be 65mm

All rainwater pipes to approved soakaways minimum 5 metres from dwelling subject to a satisfactory percolation test

SANITARY PIPEWORK
Sink unit to have 40mm p.v.c. waste and 75mm deep seal trap and to discharge into gully below grate level.
Wash basin to have 32mm p.v.c. waste and anti-vac trap.
All wastes other than W.C. are to connect into soil and vent pipe above, or minimum 200mm below W.C. connection.
Soil and vent pipe to be 100mm p.v.c. and to terminate minimum 1 metre above window heads where external

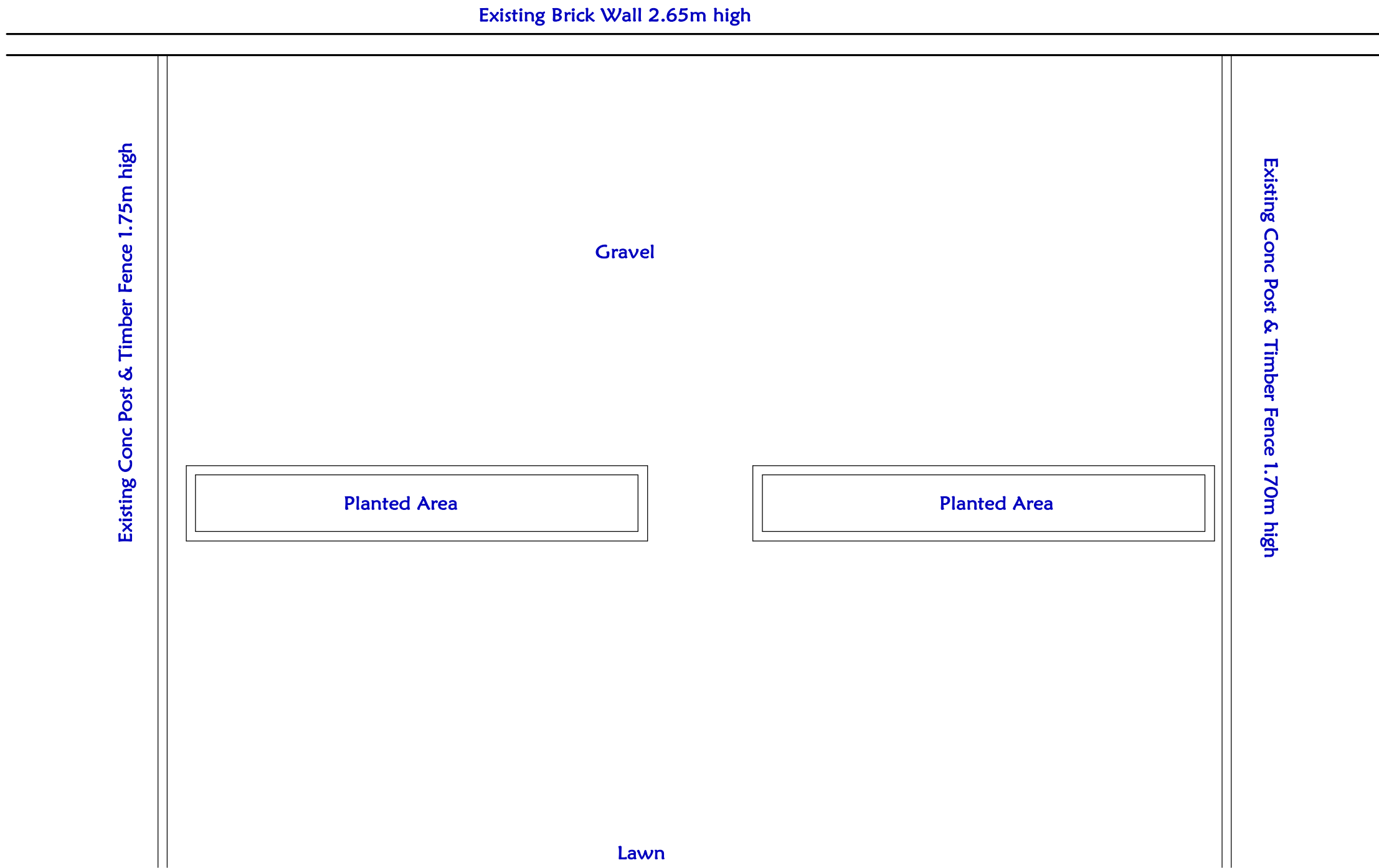
WARM DECK ROOF (U value 0.15)
12.5mm white spar chippings bedded in bitumen on 3no. layers asbestos based felt
22mm boarding
150mm Kingspan Thermaroof TR27
Vapour barrier on timber firrings laid to minimum fall 1 in 80
225mm x 50mm roof joists at 400mm centres.
12mm plasterboard & skim.

EXTERNAL WALLS
Are to have minimum 'U' value of 0.18W/m²K achieved by 100mm facing brick and 100mm fair faced blockwork with 100mm cavity filled with 100mm Dritherm 32 Insulation 100mm block (lightweight aircrete 0.15 'U'Value)
52.5mm Insulation board (i.e 40+12.5mm plasterboard) and skim
External walls to have 5no. stainless steel wall ties/m² and at 225mm vertical centres to all reveals and damp proof course at minimum 150mm above proposed ground levels.
All external reveals to have 'U' value of 0.18W/m²K achieved by using "Damcor" or similar approved cavity insulation.
Damp proof course to all external walls at heads; sills; and jambs, and cavity walls to be sealed at roof level and openings.

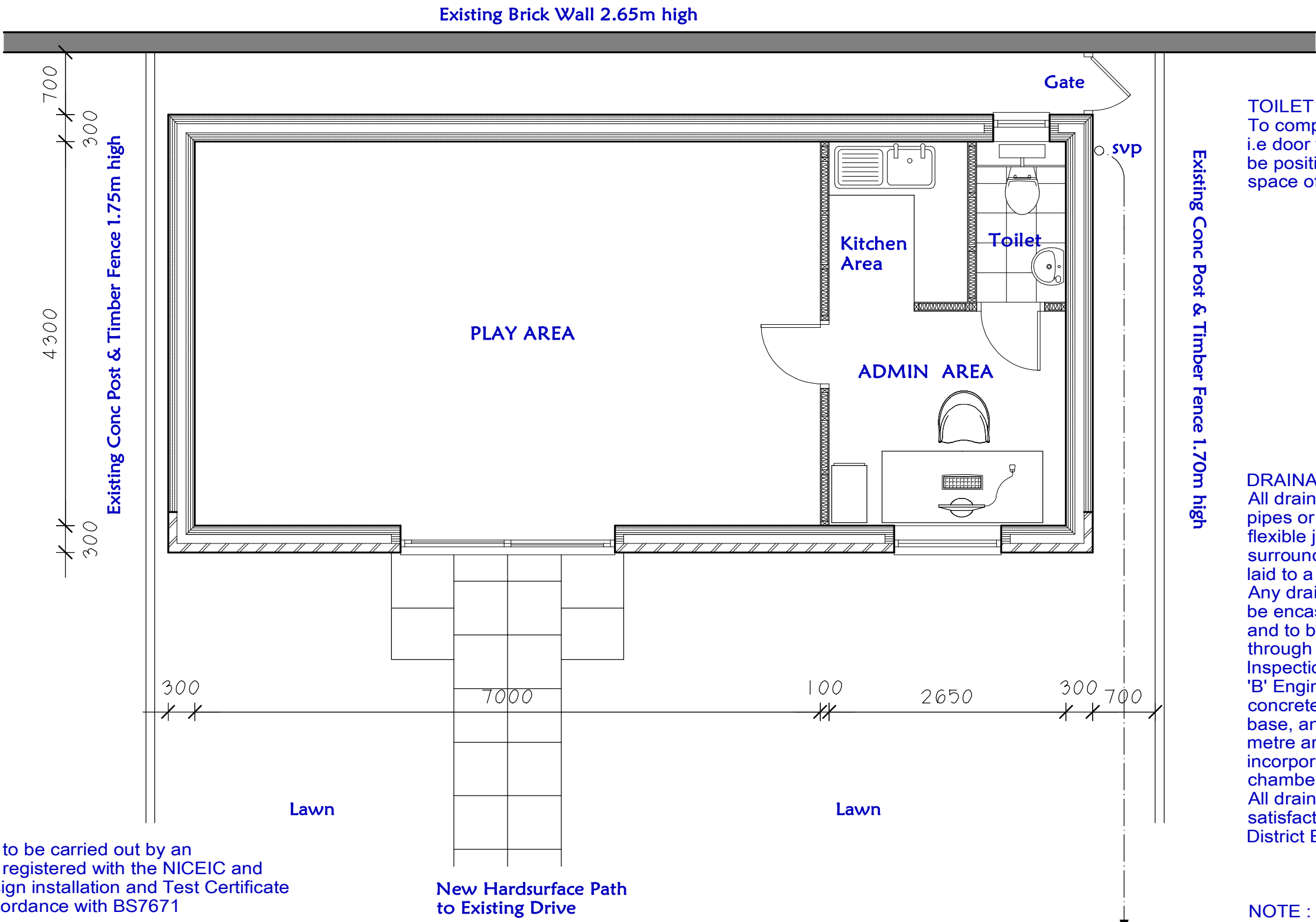
FLOOR & FOUNDATION
22mm boarding onto 75mm sand / cement screed
Approved Vapur Barrier
100mm "Kingspan" Thermafloor TF70 or similar approved insulation.
Visqueen dpm linked to dpc to external walls
200mm concrete Raft thickened to 300mm (600mm wide) under walls and with A142 mesh reinforcement to main floor and A193 reinforcement to bottom of edge beam to raft
Well consolidated hardcore minimum 100mm thick

WINDOWS
All windows to be double glazed sealed units with a 16mm air gap and "K" glass by Pilkington or similar approved "soft" low-E coating to the inner pane to give a U value of 1.4W/m²K and doors to be 1.4 W/m²K and to have opening lights to equal 1/20th floor area and incorporate trickle vents with minimum area 8000mm² to habitable rooms, 4000mm² to other rooms.
All glazing to windows to be in accordance with Part L Building Regulations; i.e., to be toughened/ annealed glazing to any windows with sills below 800mm from floor level and to glazed panels in doors, adjoining side screens and any windows within 300mm of doors below 1500mm from floor level.

Galvanised lateral restraint straps to be fixed at roof level and to span 3no. joists and at maximum 1800mm centres and to incorporate timber noggins between joists and packed out from brickwork face.



EXISTING REAR GARDEN AREA



PROPOSED UNIT

TOILET
To comply with Part M Building Regs i.e door to open outwards and wash basin to be positioned so as to achieve a minimum space of 760mm between wc and wash basin

DRAINAGE
All drainage to be 100mm "Hepsleve" pipes or similar approved with flexible joints, bedded and surrounded in granular material and laid to a minimum fall 1:40.
Any drains passing under buildings to be encased in minimum 150mm concrete and to be bridged where passing through walls.
Inspection chambers to be 225mm Class 'B' Engineering brick or pre-cast concrete sections on 150mm concrete base, and chambers deeper than 1 metre are to have step-irons incorporated and internal sizes of chambers to comply with B.S. 8301.
All drainage is to be to the satisfaction of and approval of the District Building Surveyor.

NOTE :
New Drainage to connect into exg Drain to rear of property to satisfaction of District Building Surveyor

Note :
All Electrical Work is to be carried out by an approved Electrician registered with the NICEIC and on completion, a design installation and Test Certificate is to be issued in accordance with BS7671

Switches and socket outlets for lighting and other equipment in all habitable rooms are to be positioned between 450mm & 1200mm from finished floor level in accordance with Section 8 of Part M of current Building Regulations.

General notes		
1	This drawing is copyright and is not to be copied or reproduced in any way without obtaining prior consent.	
2	All dimensions and levels to be checked and verified on site. Any discrepancies to be reported to this office before work commences.	
3	Details of ground floor construction and foundations are indicative only and are subject to ground conditions and levels.	
4	The project to which this drawing applies should, if applicable, be undertaken in full compliance with the C.D.M. Regulations (2015), and under the control of a Client appointed C.D.M Co-ordinator and the Client must ensure that they are fully aware of their responsibilities within the C.D.M. Regulations (2015)	
5	Any work that is carried out adjacent to any existing 'Party Walls and Boundary Party Walls' the client is to ensure that the requirements of the Party Wall Act 1996 are strictly adhered to and all the legal requirements of that act are to be discharged prior to commencement of any work.	
6	NOTE: Any works that are subject to Building Regulation Approval must not be commenced prior to approval being granted. Any works that are commenced prior to approval will be the sole responsibility of the Client / Contractor	

REVISION	DATE	DESCRIPTION
PROJECT : PROPOSED REAR EXTENSION		
ADDRESS : 194. HOUGHTON ROAD. THURNSCOE. BARNLEY. S63.05A.		
CLIENT : MR. & MRS. GUNDRY		
DRAWING No.: 2024-67-1		
DATE: September 2024		
SCALE : 1:50 @ A1		
JOHN KNOWLES ARCHITECTURAL DESIGN		

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Thrybergh.
Rotherham. S65. 4RA.
Telephone : 07966 394425
e-mail johnknowles-ad@outlook.com





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