

Design & Access Statement

For

Internal Alterations and New External
Access Ramp and Steps



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I.0 DETAILS

I.1 Name & Address of site:

Penistone Town Hall
Shrewsbury Road
Penistone
Sheffield
S36 6DY

I.2 Name & Address of Applicant:

Barnsley Metropolitan Borough Council
PO Box 634
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I.3 Name & Address of Agent:

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2.0 INTRODUCTION

This Design & Access Statement has been prepared by T.A.D. Architects on behalf of Barnsley Metropolitan Borough Council in support of a Planning Application for the provision of an external ramp and step access to the building and internal alterations.

The site is a fully operational multi-functional building adjoining the Penistone Paramount Cinema, with council services, the Council Chamber for council meetings, leased office space and ancillary spaces. The first floor of the building is used as the local Masonic Lodge, which is access via the main corridor within the building.

There is an adjoining 2 storey building which was the former caretaker's accommodation but this has been converted to business use and is currently leased, therefore excluded from this proposal.

The scheme consists of internal alterations to provide a new central accessible entrance, which will provide a secondary access to the Paramount building, a new small cinema screen room, separate bar area with direct access to the new cinema screen, maintaining the Council Chambers area with multi-functional use, a dedicated exhibition space, a new café/community space with separate kitchen, an office space, all with improved access via internal platform lifts and improved toilet facilities throughout. The scheme will allow a more functional use of the space, improved community integration, improved access and facilities, in line with current guidelines and policies.

The scheme does not propose to alter the external appearance of the existing building, only the addition of a new ramp and step access to one of the double entrance doors to the building. This is to provide a central accessible entrance to all to the building, which responds to the slope of the ground outside.

3.0 SUPPORTING STATEMENT

For many years Penistone Town Hall has been used to accommodate a small number of BMBC workers and facilitates the Town Council, Area Council and Ward Alliance meetings however is not open to the general public.

As an asset of considerable interest to the community the under usage of the building was raised in our initial consultation regarding Principal Towns and a desire raised to see the building used as a flexible, functioning community asset. However, the building would not be a feasible asset as currently there are a number of issues with the state of the building and issues with accessibility, the aim of this project is to undertake necessary repairs and alter the building to create a flexible useable community space.

Penistone Paramount is attached to the Town Hall building and is successfully leased by the Town Council which covers all repairs & maintenance of the building. It is proposed that once works are complete the building will be transferred/leased to the Town Council removing all future cost liabilities from BMBC.

The creation of a flexible community space which would incorporate additional space for the Paramount to extend would in addition create a cultural hub which links into a recent submission to the Cultural Development Fund recently submitted by BMBC. It is envisaged that in addition to additional performances from the Paramount a variety of cultural events and exhibitions will be delivered from the building.

This is the main project for Penistone as part of the Principal Towns project and will improve the economy in the Town, in addition to community events a café/bar area is proposed which will tie into the recent increase in the night time economy offer in the town. This would also provide an income to contribute to running/maintenance costs.

Having consulted businesses and the general public in the area this is an exciting opportunity to help Penistone become the vibrant market Town it should be.

4.0 ASSESSMENT

4.1 Site Description

The site address is Penistone Town Hall, Shrewsbury Road, Penistone, Sheffield, S36 6DY.

The proposed development area of the Town Hall, which is 475.7m² for the Town Hall Building and lies on a site with the adjoining Penistone Paramount which totals 0.13 Hectares (1,338m²), is situated 0.2 miles West of Penistone's train station. The site in Penistone is situated 7.7miles SSW of Barnsley accessible via Barnsley Road.

The site is set in a sloping site to the East and West. It is situated on an accessible bus route to the major amenities of the surrounding area and within a 5-minute walk to Penistone High Street. The site itself is accessed from Shrewsbury Road with a services access from the rear of the site via Vicarage Walk.



Figure 1 – Aerial view of the site and surrounding context

To the North of the site is residential housing with St. John the Baptist Church and churchyard to the North-West. Immediately to the East of the site, beyond the Paramount Cinema is a public car park. Beyond the car park before the residential housing is a small park area. To the south of the site is residential housing beyond a small landscaped area with grass and some mature trees. To the immediate West there is a mix of residential accommodation and a doctors practice before the High Street where there are various businesses. The majority of the buildings within the area are 2 storey buildings with some exceptions of 3 storey buildings towards the main high street and some single storey residential buildings to the South.

4.2 Settlement Character

The wider surrounding area of the site is predominately residential, but retail to the South along the High Street.

4.3 Existing Buildings

The appearance of the existing building to the main street facing elevation is generally stone walls with contrasting red brick panels below the windows (*figure 2*). The side and rear elevations are constructed of red brick with the side elevation doors and windows having stone lintel and cill details and the rear elevation (including the side elevation of the former caretaker's house) having red brick window and door head details (*figures 5 and 6*).

The building generally has slate roofs with red clay coping tiles. There is a small flat roof area in the middle of the footprint of the building between the pitched roofs and walls of the two-storey building area and Paramount cinema (*figures 8 and 9*). The flat roof area features some original stained glass rooflights which are covered externally and visible internally in the main corridor (*figures 8 and 10*).



Figure 2 – Town Hall corner view



Figure 3 – Town Hall current entrance door



Figure 4 – Unused entrance between Town Hall and Paramount



Figure 5 – Rear external view of service courtyard



Figure 6 – Town Hall Side Elevation



Figure 7 – Penistone Paramount



Figure 8 – Roof Top



Figure 9 – Roof Top

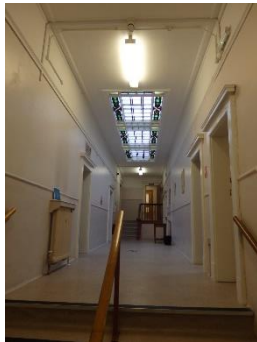


Figure 10 – Internal level changes down main corridor



Figure 11 – Internal level change within rooms

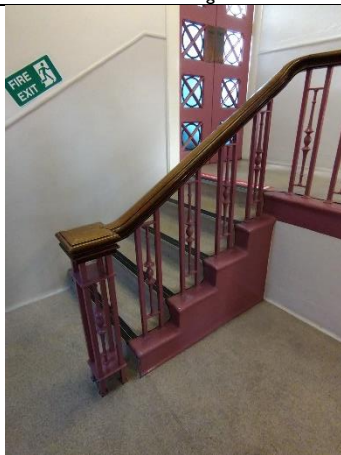


Figure 12 – Internal steps in corridor

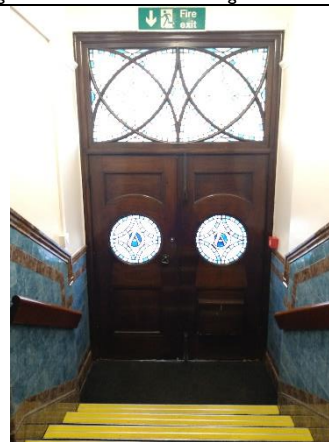


Figure 13 – Internal steps between reception area/offices and Council Chambers

The layout of the main building is achieved by the use of a main corridor down the centre rooms to either side. The main corridor through the building is where the majority of the level changes across the site are dealt with internally with internal steps for the level changes and subsequently rooms at different levels. Currently the level changes are dealt with internally with only the use of the internal steps.

4.4 Flood Risk

As can be seen from the *Figure 14* below, the site is outside of Flood Zones 2 & 3 at an elevated level.

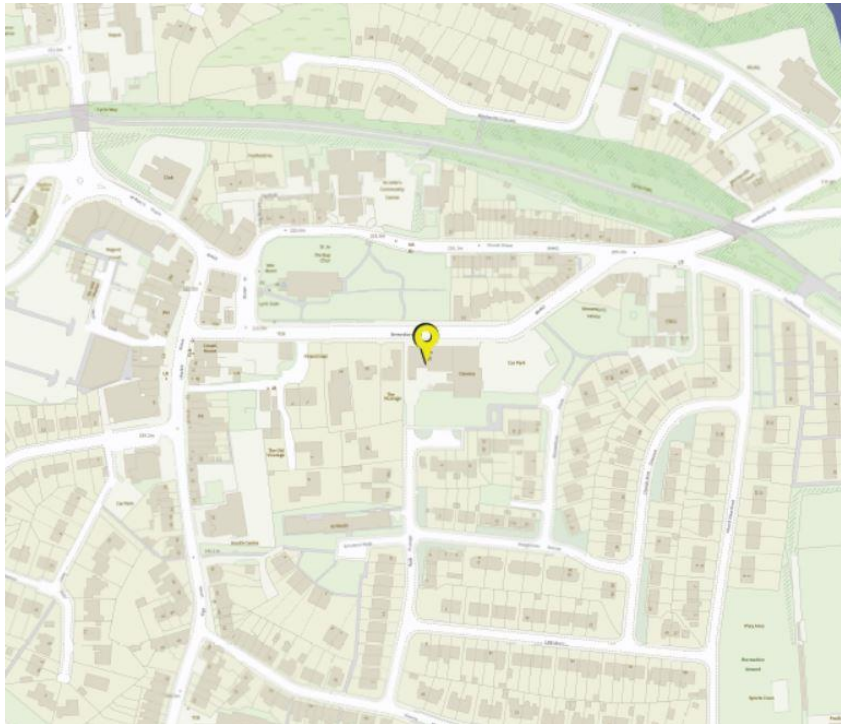


Figure 14 – Extract from Government Flood Risk Map

4.5 Arboricultural

The site does not contain any trees or areas of soft landscaping.

4.6 Landscape Features

The level across the site is sloping to the front elevation, facing the street. However, the rear of the site to the service yard area is relatively level.

4.7 Noise

The location of the building and its surroundings does not promote excessive noise in the area. Shrewsbury Road can be used as a main route through Penistone towards Penistone train station and the surrounding villages to the East and to the centre of Penistone to the West, it is not a noticeably busy road.

Penistone train station is located within 0.2 miles of the Town Hall but there is no noise impact from the trains.

4.8 Planning History

The existing buildings and site have been subject to a number of planning consents.

- 2017/0665 – Change of use from Office (B1) to Fitness Suite (D2).
- 2005/1994 – Formation of new door opening for level access to Council Offices.

4.9 Rights of Way

There are no Public Rights of Way across the site itself, there is however a pedestrian route adjacent to the most recent level entrance to the side of the building which also provide access to the former caretaker's house which is currently used as fitness suite.

4.10 Ecology

The site consists of the building and hard scaping, there are no ecological features to note.

4.11 Transport, Vehicular and Pedestrian Access

The site is accessed via Shrewsbury Road, from which access to Sheffield Road to the East can be gained. To the North from Shrewsbury Road there is access to the A628 which leads to the M1.

The site is more than adequately accessible by both vehicles and pedestrians from Shrewsbury Road, with on street parking bays available on Shrewsbury Road and the public carpark adjacent to the Paramount Cinema.

The nearest bus stop is 120 yards outside the entrance of the building.

In addition, the area is served by the Penistone train station providing connections North to Huddersfield and South to Sheffield. The station is located less than 0.5 miles from the site and accessible via a 5-minute walk.

4.0 PROPOSAL

The proposal is to include the internal alterations of the existing building to suit the new intended uses for the spaces, improved access into and through the building and improved facilities within. The new uses within the building include a new smaller cinema screen room with adjoining bar located at the entrance level, a new café/community room with associated kitchen and new/updated toilet facilities, and there will be a dedicated exhibition space to display local historic information/artefacts. The Council Chambers will remain in use as current. An office will be maintained on site but within a new location.

Improved access applies to the entrance of the building but also within the building itself with the modification of the existing internal steps to introduce internal platform lifts to allow easy access for all throughout the building despite the level differences.

5.0 DESIGN STATEMENT

5.1 Proposed Use

The proposed scheme proposed to retain the current use of areas of the building but also introduce new uses into the building with the addition of the cinema screen room and associated bar, plus the café/community space and associated kitchen.

The first-floor use will remain unchanged and the Council Chambers will remain as it is currently.

5.2 Amount

The proposed scheme provides the space required to allow the various wards to function effectively, providing the services required for the staff to the patients and provide adequate patients spaces and facilities.

Provision of new trees, boundary treatments and green infrastructure along the site boundaries would enhance the scenery to and from the site whilst also creating a noise buffer.

5.3 Layout

Topography

The existing topography of the site slopes down from West to East to the front elevation which will remain unchanged, however the introduction of the ramp and steps to form the new main accessible entrance is a response to the slope.

Landscape Features

The site is predominately occupied by the building with a service yard to the rear of the collection of buildings is tarmac.

Site access

The access to the site is to remain as existing.

Parking

There is no onsite parking provision and this will remain unchanged.

Privacy

The building is an existing building and remains unchanged by the proposed works. Where the internal space is changed and requires privacy, any windows will be treated accordingly to provide the privacy required and therefore no issues.

Gardens and amenity space

There is no existing garden space or amenity space and this remains unchanged.

Sunlight and daylight

The existing building remains unchanged and therefore the levels of sunlight and daylight will remain the same.

Crime prevention

The development will maintain casual observations across the site for security.

5.4 Scale

The scale of the development refers to the height, width and length of the buildings in relation to their surroundings.

The existing will remain unchanged.

5.5 Appearance

The appearance of the building will remain unchanged.

5.6 Waste Management

The waste management strategy for the site remains unchanged with provision within the central service yard for the separation and segregation of the different waste streams.

6.0 HERITAGE STATEMENT

Penistone Town Hall is located within the Penistone Conservation Area. The Town Hall is not a locally listed building but could be considered to be of local interest.

The Penistone Town Hall was opened in 1914 as an extension to the original Carnegie Library which opened in 1913. The building ceased to function as a library in 1966 when a new purpose-built library was constructed.

The Town Hall went through various uses through its lifetime, including a recruitment centre for the army during World War I; Friday night dances, band concerts and fund-raising efforts during World War II; and more recently, council services with limited community activity/use. The building had been plagued with threats of closure throughout the buildings use.

The Local Plan states that the aims for the future of Penistone are to 'improve the availability of leisure, cultural and entertainment activities, and to improve car parking and movement for pedestrians, cyclists and the disabled.'

The proposed development does not impact the original buildings external façade instead incorporates facilities to create a main entrance to both the Town Hall facilities and the Paramount Cinema with a ramp and steps allowing accessibility to all. This, along with the internal alterations and new uses within the building aims to respond to the needs stated in the Local Plan, as noted above thus bringing the building back in to community use and functionality.

Buildings within Penistone conservation area are commonly built using stone, which is the predominant building material used on the Town Hall and Paramount buildings. As the proposed works seeks to add a new ramp and steps externally to the front of the building the character of the building remains unchanged and therefore will not impact upon the character or heritage of the area. The materials for the proposed external ramp and steps will be in keeping with the existing building which has a combination of stone and red brick, so as not to adversely impact on the character of the building.



Figure 15 – Town Hall from Shrewsbury Road



Figure 16 – Town Hall current entrance door



Figure 17 – Unused entrance between Town Hall and Paramount



Figure 18 – Rear external view of service courtyard

7.0 ACCESS

7.1 Policy Approach

The philosophy behind the design of this proposal has been one of an inclusive environment for all. Reference has been made to BS 8300 and Building Regulations Approved Document M as the minimum basis for the design.

7.2 Accessibility of the Site

The pedestrian access will be altered to create a new main entrance to the building via an existing entrance door between the Town Hall and the Paramount building. The existing entrance currently only had stepped access but the proposal is to alter this to include a new ramp and steps to this entrance to allow access for all into the building.

The main entrances and the internal circulation have all been designed using Approved Document M and BS 8300.

Access for emergency services will be provided in line with Approved Document B of the Building Regulations.