

# DESIGN AND ACCESS STATEMENT

## Salterbrook, Goldthorpe

### SETTING THE SCENE

#### The Site and its Location

The proposed site is located approximately 800m from the centre of Goldthorpe to the North of Barnsley Road (B6098) and accessed via Salterbrook, a private access road which it shares with Highgate Social Centre. (see Fig 1).

The existing development is set in a residential area of Goldthorpe and provided 42 local authority retirement homes. The development comprises of 3 brick built blocks with tiled pitch roofs, two smaller block to the east of the access road and a larger 'U' shaped block to the Northern end of the site. The two smaller units have now been demolished. The large block consists of 26 dwellings of two storey accommodation to centre of the U shape (the main entrance) and the end of each wing, linked with single storey accommodation. This is approached through and surrounded by lawned garden and mature trees. (see Fig 2). There is limited parking provision and access to the dwellings is primarily pedestrian.

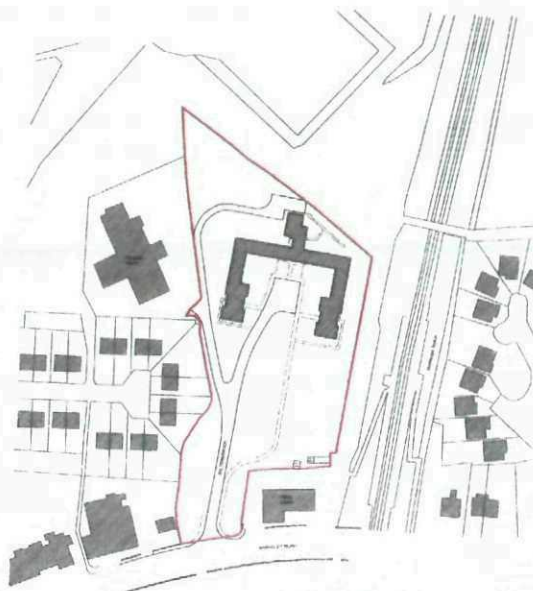


Fig 1 Site Location Plan



Fig 2 View from Barnsley road along Salterbrook

## The Surrounding

The B6098 (Barnsley Road) is the arterial road through Goldthorpe and is flanked by 2 storey pitch roof dwelling houses. A petrol filling station is sited on the junction of Saltersbrook (the access road) with Barnsley Road, (See Fig 3) the rear of which bounds the southern end of the site.

To the east, the site is bounded by Goldthorpe Station, whose platform sits approximately 3-4m lower than the site.

The western boundary is flanked by end and rear elevations of semi-detached dwellings, (See Fig 4) the rear gardens of which abut the site and appear to have established access from the site.

Highgate Social Centre which is accessed from the development site via Saltersbrook bounds the North West corner of the site. This is a single storey development with accommodation in the roof space and is elevated in two colour brickwork with a tiled pitched roof (See Fig 5).

Saltersbrook serving the above as noted is a private access way of approximately 4.8m in width and flanked by lawned garden and mature tree planting. There is a footpath to the east side of the road for the first 29.5 metres from the junction only. This then swings east into the site to serve the now demolished dwellings and main block.

A pumping station and electrical substation are located on the south east corner of the site adjoining the boundary.

The Northern boundary is defined by 1.8m high steel palisade fence with scrub land beyond. (See Fig 7)



Fig 3 Filling Station



Fig 4 Western Boundary



Fig 5 Highgate Centre



Fig 6 Saltersbrook



Fig 7 Typical extra boundary treatment

## THE DESIGN RESPONSE

### The Development Concept

- ✦ Make efficient use of the land available.
- ✦ Provide appropriate accommodation.
- ✦ Provide off street parking.
- ✦ Provide suitable vehicular access.
- ✦ Create a distinct Residential environment.

Maintain the existing character of the site, retaining good specimen trees where appropriate.

### Consultation

Berneslai Homes is an ALMO responsible for managing homes on behalf of Barnsley Metropolitan Council, and have brought the site to the developer. The proposed design has been developed in consultation with Berneslai Homes.

In addition pre-planning application consultation has been undertaken with the local planning authority, highway and drainage department.

### The Proposals

A summary of the proposed development is as follows:

Demolition of the existing building.

Construction of an Extra Care facility comprising of;

- 8 no. 2 Bedroom (type A) Apartments
- 53 no. 2 Bedroom (type B) Apartments
- 1 no. 1 Bedroom (type C) Apartments
- Ancillary Dining and Amenity facilities

Upgrading of Sattersgate to allow improved vehicular and pedestrian access with a gateway entrance.

Provision of 54 offstreet Parking Spaces (incorporating 6 disabled bays).

Provision of landscaped formal gardens incorporating water features and covered seating and activity space.

Provision of allotment plots and garden storage for residents.

## APPEARANCE

### Layout

The orientation and footprint of the proposed building is similar to that of the existing, but reversing the aspect to allow the benefit a secure landscaped formal courtyard garden to the northern end of the site. At ground floor, public sitting rooms have access onto this area as do a number of apartments.

The layout of the building allows the majority of apartments to be arranged along a north south access providing them East and West facing aspect, enjoying the benefit of morning or evening sunshine. All apartments overlook soft landscaped gardens and amenity space and those at ground floor have access to private terraces.

The main Dining and Sitting areas enjoy a south facing aspect, overlooking a terraced seating area, landscaped gardens and water feature beyond, with direct access to the former.



Fig 6 Site Plan

Access to the site via Saltersbrook will be maintained and shared with the Highgate Social Centre, but a gateway to the site will be created at the junction with Barnsley Road to improve the identity of the site and advertise its presence within the fabric of Barnsley Road. Saltersbrook will provide access to car parking and a one-way system to a covered 'drop off point'. The car parking being sited to the south East corner of the site adjoining the boundary with the filling station and railway parking and will be screened by substantial planting.

Access to Highgate Social Centre is maintained in its existing location, although the proposals include widening the road within the development site.

A tree survey is currently being undertaken and it is the intention to retain and improve valuable tree specimens where appropriate to retain the character of the site.

### Massing

The three storey height of the proposals reflect the current trend of development to the South of Barnsley Road (See Fig 8) and sits comfortably within the generous grounds and mature landscaping, much of which it is intended to retain.

The low pitch of the roof of the development emphasises the contemporary approach to the elevation design and maintains a similar ridge height to the surrounding two storey development.



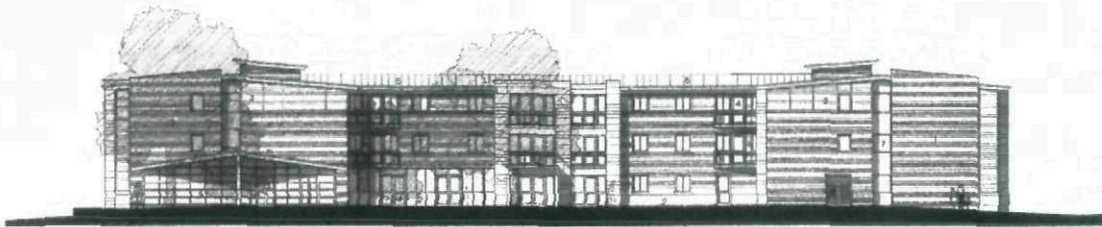
Fig 8 Recent development to the south of Barnsley Road

## Elevations

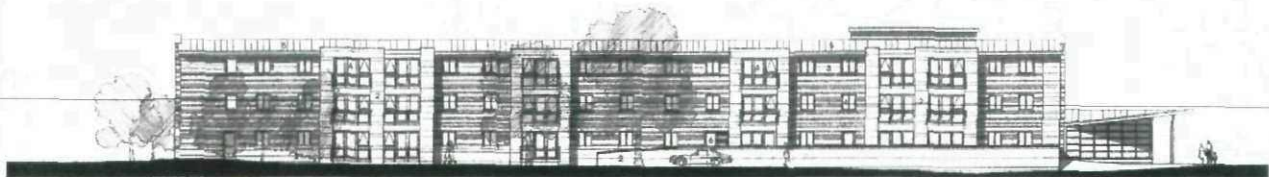
The elevational treatment of the building has been developed to provide the building with a contemporary appearance. The introduction of projecting bays in a different material to the main body of the building provides relief and identity to individual apartments. It also assists in reducing the mass of the building. The strong rhythm to elevations created by the bays is interrupted by the punch hole windows and the introduction of a blockwork plinth and timber clad upper floor suggests a horizontality to the building. This together with the significant overhang of the eaves creating shadow visually reduces the height of the building, retaining the domestic scale.

The bays also form a framework to the large areas of glazing and Juliet balconies to the living rooms, and provide a link between the two differing scales of the public areas and the individual apartments. Subdivision of the elevations by the use of different materials and projecting panels further assist in the reduction of scale to more domestic proportions.

The central entrance area to the building and the South elevation is emphasised in the same style as the bays and the communal areas identified by a large element of glazing.



South Elevation



West Elevation

## Materials

The proposals utilise a palette of both contemporary and traditional materials, with brick work reflecting the material of the surrounding development. The introduction of natural timber cladding is used to soften the building and reflect the character of the site with its mature landscape and trees. A metal standing seam roof complements the timber cladding to emphasise the contemporary styling.

A variety of hard landscape materials are proposed around the site to distinguish between vehicle and pedestrian routes, assist the visually impaired and create clearly identifiable features within the hard landscape.

Boundary treatment will retain the existing palisade fence to the majority of boundaries, (see Fig 9) which will be screened by planting and additional security provided by a similar fence set in front of the planting. The current brick wall boundary treatment to the filling station (see Fig 10) will be retained and link with feature brick wall and gateway feature to the entrance to Saltersgate. Existing boundary treatment to the dwellings on the Western boundary will be screened by planting.



Fig 9 Typical boundary fence



Fig 10 Filling Station

## ACCESS ISSUES

### Vehicle Access

Access to the site for both vehicles and pedestrians will be along Saltersbrook from its junction with Barnsley Road as existing. Access to the adjoining Highgate Centre will be maintained as existing, and improved vehicle and pedestrian access will be provided to the development as outlined in the layout section of this statement. Provision for fire fighting, refuse and other emergency service vehicle has been included in the layout design.

### Pedestrian Access

Access to the site is along the same route as vehicular access on the upgraded Saltersbrook. The site topography allows level approach and access from Barnsley Road to all public and resident access points around the building in compliance with ADM of the Building Regulations. Provision of scooter mobility store has been included and footway garden paths have been designed to accommodate these.

### Public Transport

Access to public transport is very convenient, with the local railway station adjacent to the site entrance and regular bus service running along Barnsley Road, providing access to Goldthorpe centre and Barnsley.