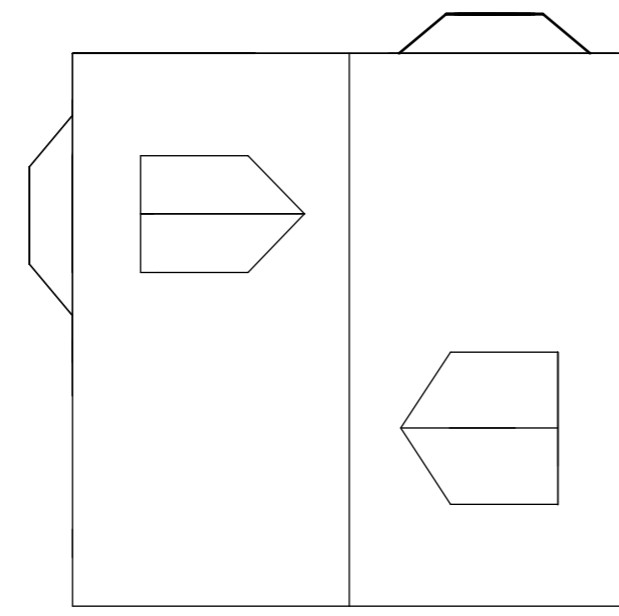
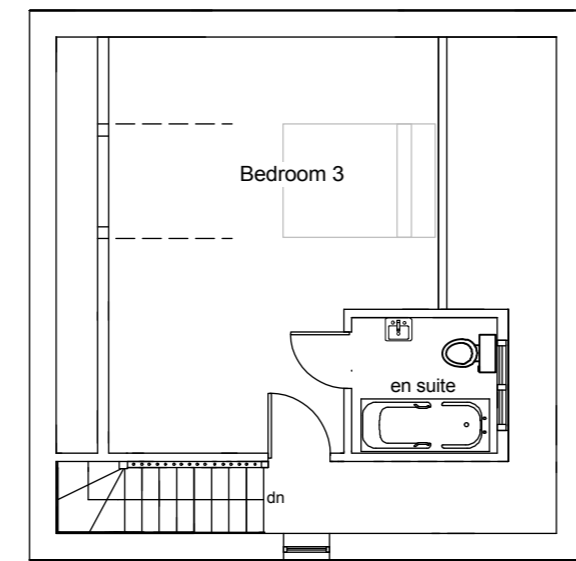


Notes

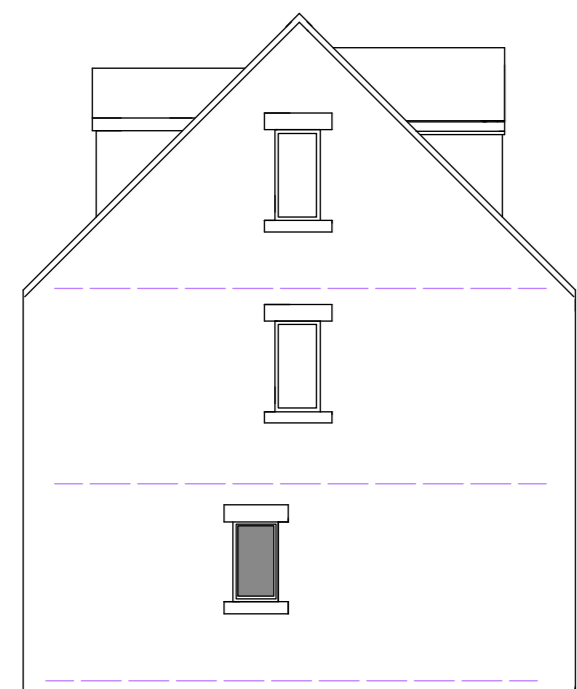
- Walls
 Constructing brick To Be Agreed With Planning Officer
 stone heads
 projecting stone sill
- Roof
 Birkdale or ThruStone
 conservation rooflight
 Brett Martin Cast Or Stormguard Aluminium
 Half Round Gutter
- Windows
 Residence Collection Or Similar
 Upvc Flush Fitting Casements.
 Detailing To Be Repeated Across Window Types.
 Windows Set Back 50mm In Recess
 RAL Number To Be Agreed
- All Soil And Vent Pipes To Be Internal



Roof



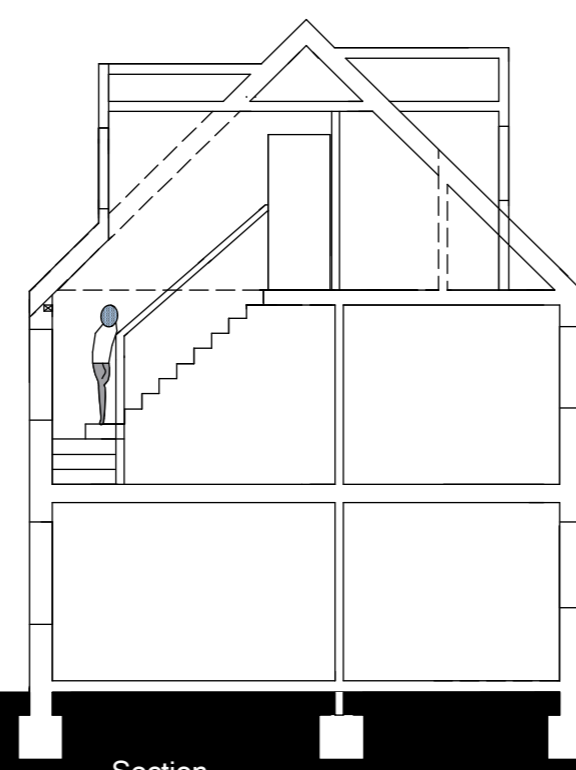
Second



Side Elevation



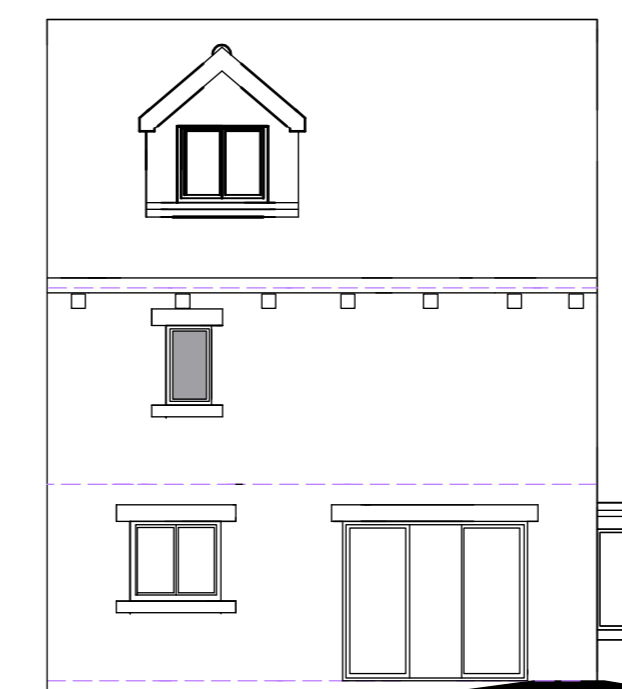
Side Elevation



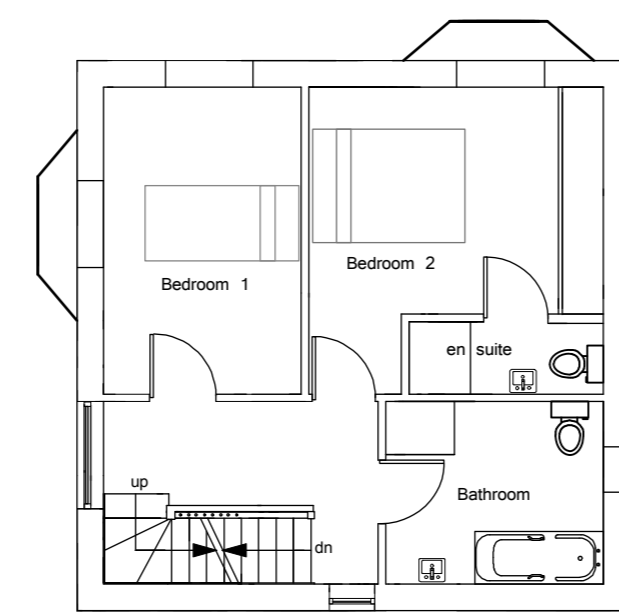
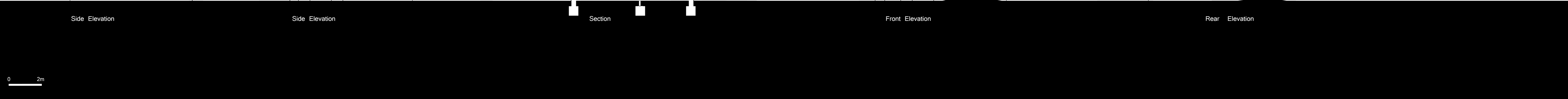
Section



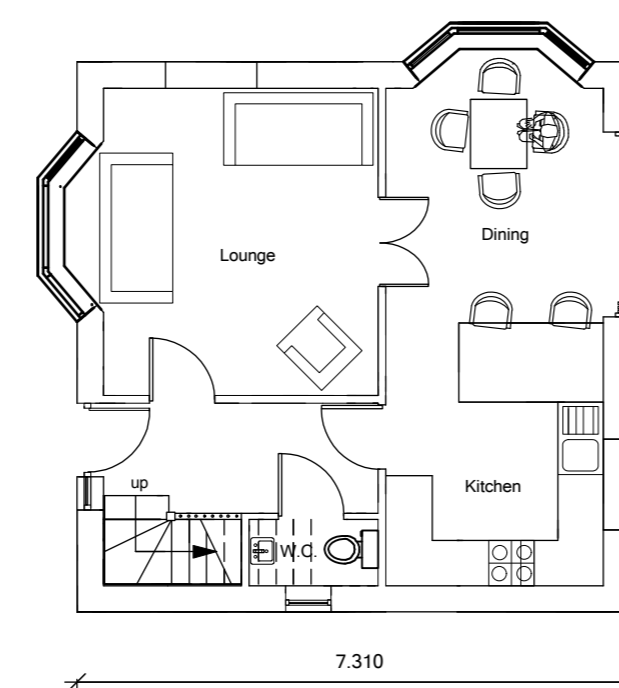
Front Elevation



Rear Elevation



First



Ground

Notes/Advisories

<p>No Drawings To Be Issued From This Drawing Which Is The Property Of The Company AND, LTD. It Is Not To Be Used Or Copied In Any Way Except As Authorized By The Company And Otherwise Notwithstanding To Rendering The Services And Generally Assures The Architect's Moral Rights To Be Identified As The Author Of Such Work By Part Of Any Design By The Architect Not Be Reproduced By The Client Without Written Consent Of AND, LTD</p>	<p>The Drawing Will Not Be Assigned To Any Third Party The Client Is Responsible For Providing The Architect With The Correct Site Measurements/Dimensions And Any Consents Or Permissions Relating To The Site AND, LTD Will Assume Site Boundaries Are Clearly Defined/Marked, Unless Otherwise Informed By The Client No Work To Be Carried Out Without Planning Permission. Use All The Best Planning Conditions Have Been Challenged AND, LTD A Building Regulations Application Has Been Submitted Any Work Carried Out Before Building Regulations Approval Has Been Granted And Any Certificate Issued/Not Issued At Client's Own Risk</p>	<p>Principal Contractor/Contract Manager Is Responsible For Ensuring Works Are Signed Off And Certificate Of Completion Is Issued By Building Control Any Building Works Within 5m Of A Neighbouring Home's Foundation Must Require You To Notify The Owner Of That Property Of Your Intention At Least One Week Before You Start Work Work To Be Carried Out Within 5m Requires You To Give At Least Two Weeks Notice Of Your Intention. If Consent To Carry Out Work Cannot Be Obtained Prior/Before Starting Work A Closure Order Will Be Fought (The Party Wall Act 1996)</p>	<p>It Is The Responsibility Of The Principal Contractor To Notify The Architect Of Any Concerns On The Drawing Prior To Construction All Dimensions To Be Checked On Site If In Doubt Ask! ALL WORKS MUST COMPLY WITH CDM 2015 NO CAD DRAWINGS WILL BE ISSUED TO ANY THIRD PARTY !!</p>
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A		25.12.23	100
REV	REVISION NOTE	DATE	DRAWN BY
Andrew Bailey PADDOCK ROAD PHASE 2-3 Architect		JOB NO. 100000000 DATE 25.12.23 SCALE 1:50 AT A3 DRAWING TITLE PLANS SECTION AND QUANTITIES SHEET NO. 100000000 REV. A	CLIENT RIBB PROPERTIES LTD DRAWN BY AB CHECKED AB
RIBA #		WORK STAGE 3 - DEVELOPED DESIGN	