
2024/0555

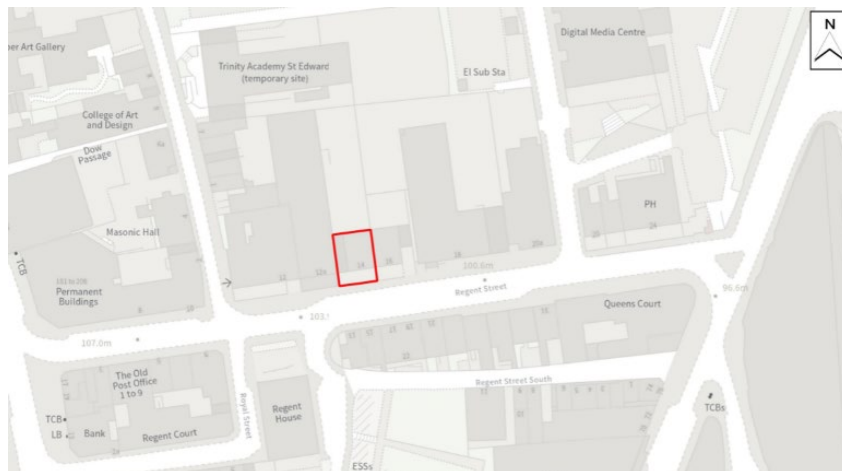
Mr Allen Parks

14 Regent Street, Barnsley, S70 2HG

Installation of commemorative plaque to front (south) elevation (Listed Building Consent).

Site Description

The application relates to a grade II-listed former residential building located on the north side of Regent Street and just to the north-east of the junction with Hanson Street. The building is in the Regent Street/ Church Street/ Market Hill Conservation Area and is constructed of stone and has two storeys. The building currently has a commercial use with office-based functions.



Planning History

There is an extensive planning history associated with this site. The most recent application is:

1. 2020/1204 – Replacement of sash windows to the rear elevation and installation of new front door (Listed Building Consent). – Approved.

Proposed Development

The applicant is seeking listed building consent for the installation of a commemorative plaque to the south elevation of the building.

The commemorative plaque would be installed to the west side of the entrance doorway located on the south elevation of the building which faces onto Regent Street. The plaque would be circular in shape and would adot a blue background with white text. The plaque would be approximately 18 inches (0.5 metres) in diameter and would be fitted to the building using two or three screws into the mortar joints.



*Refer to published document for exact wording.

Policy Context

Planning decisions should be made in accordance with the current development plan policies unless material considerations indicate otherwise; the National Planning Policy Framework (NPPF) does not change the statutory status of the development plan as the starting point for decision making. The Local Plan was adopted in January 2019 and is now accompanied by seven masterplan frameworks which apply to the largest site allocations (housing, employment, and mixed-use sites). In addition, the Council has adopted a series of Supplementary Planning Documents and Neighbourhood Plans which provide supporting guidance and specific local policies which are a material consideration in the decision-making process.

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027, or earlier, if circumstances require it.

Local Plan Allocation – Urban Fabric

The site is allocated as urban fabric in the adopted Local Plan which has no specific land allocation and is a grade II-listed building located in the Regent Street/ Church Street/ Market Hill Conservation Area. Therefore, the following policies are relevant:

- ***Policy SD1: Presumption in favour of Sustainable Development.***
- ***Policy D1: High quality design and place making.***
- ***Policy HE1: The Historic Environment.***
- ***Policy HE3: Developments affecting Historic Buildings.***
- ***Policy HE4: Developments affecting Historic Areas and Landscapes.***
- ***Policy GD1: General Development.***

Supplementary Planning Document(s)

- ***Heritage impact statements.***
- ***Advertisements.***

National Planning Policy Framework

The NPPF sets out the Government's planning policies and how these are expected to be applied. The core of this is a presumption in favour of sustainable development. Proposals that align with the Local Plan should be approved unless material considerations indicate otherwise. In respect of this application, relevant policies include:

- ***Section 12: Achieving well-designed and beautiful places.***
- ***Section 16: Conserving and enhancing the historic environment.***

Planning (Listed Buildings and Conservation Areas) Act 1990

- ***Section 16: Decision on application.***
- ***Section 66: General duty as respects listed buildings in exercise of planning functions.***
- ***Section 72: General duty as respects conservation areas in exercise of planning functions.***

Consultations

Conservation Officer – No objection subject to condition.
Historic England – No comments.

Representations

Neighbour notification letters were sent to surrounding properties and the application was advertised by a site and press notice, expiring 16th July 2024 and 26th July 2024 respectively.

No representations were received.

Assessment

Principle of Development

Signage to a listed building or located in a conservation area is considered acceptable if it would adopt a proportionate size and a sympathetic design, would respect architectural detail, and would be located in a way that would respect, conserve and enhance the significance and setting of the borough's heritage assets, paying particular attention to those elements which contribute most to the borough's distinctive character and sense of place, and would not significantly alter or detract from the character of the street scene.

Design, Heritage and Visual Amenity

Prior to the submission of this application, the applicant (Barnsley Civic Trust) engaged with the Council's Conservation Officer to agree upon a suitable location and fixings. The proposal is funded by the Eldon Street High Street Heritage Action Zone (HAZ) Project and is part of a wider scheme to install five new commemorative plaques which would replace two of the temporary bright night's plaques and provide three new plaques commemorating people and buildings.

Sections 16 (2), 66 (1) and 72 (1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 require special regard to be had to the desirability of preserving the listed building and conservation area or its setting or any features of special architectural or historic interest which it possesses.

The application property is a grade II-listed building that was designated in 1986 and is in the Regent Street/ Church Street/ Market Hill Conservation Area. The building was constructed in circa 1825 from dressed stone with a slate roof and has many architectural features, the most prominent being an arched doorway. The proposal aims to recognise the contribution of John Whitworth, the architect, surveyor and town planner, who was appointed by the Barnsley Town Improvement Commissioners under the Act for Improving the Town of Barnsley 1822, and who laid out Regent Street and Eldon Street.

Whilst a smaller plaque would have been preferred, the proposal would adopt a modest size and its design would be reflective of other commemorative plaques that can be found on historical buildings throughout the country. The plaque would be strategically placed to ensure minimal clutter on the building's façade and would provide a positive illustration and interpretation of the building's past, creating a positive contribution to the building and the conservation area.

The proposal is therefore considered to conserve and enhance the character and appearance of the grade II-listed building in accordance with Section 66 (1) and Section 72 (1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 and is considered to comply with *Local Plan Policy HE1: The Historic Environment*, *Local Plan Policy HE3: Developments affecting Historic Buildings*, *Local Plan Policy HE4: Developments affecting Historic Areas and Landscapes* and *Local Plan Policy D1: High Quality Design and Placemaking* and would be acceptable regarding visual amenity.

**Recommendation -
Approve with Conditions**