

2023/0192

Mr Alex Farrer

Installation of solar PV system to roofs of buildings (Prior Approval)

Naylor Industries, Unit 17, Station Road Industrial Estate, Valley Road, Wombwell, Barnsley, S73 0BS

Site Description

The application site refers to a building used by Naylor Industries which is located in Unit 17 of the Station Road Industrial Estate in Wombwell. The building in question is rectangular in shape (measuring 4600sqm) situated in a plot measuring 1.5ha. The building in question is the largest on site but there are other smaller buildings to the North, alongside the storage of HGV lorries.

Access to the site is solely from Valley Road (275m to the South-East) with the site situated in the Urban Fabric in an established industrial/employment zone. The surrounding area is hence characterised by industrial/commercial units of varying sizes and for various uses. There is a unit immediately adjacent (unit 19) which contains solar panels on the front-facing roof plane. The site resides at the head of the Industrial Estate, with an area of woodland to the North-West and Wombwell Recreation ground to the rear (South-West).

Proposed Development

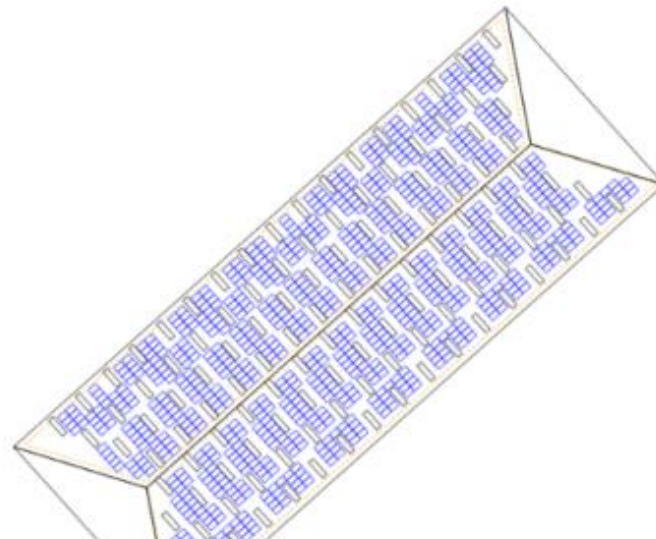
The applicant has submitted an application to determine if prior approval is required for the installation of solar PV system on the roof of a building used by Naylor Industries. The panels are located on the North-West and South-East roof planes (both side elevations).

The applicant has provided the following information in support of the proposal:-

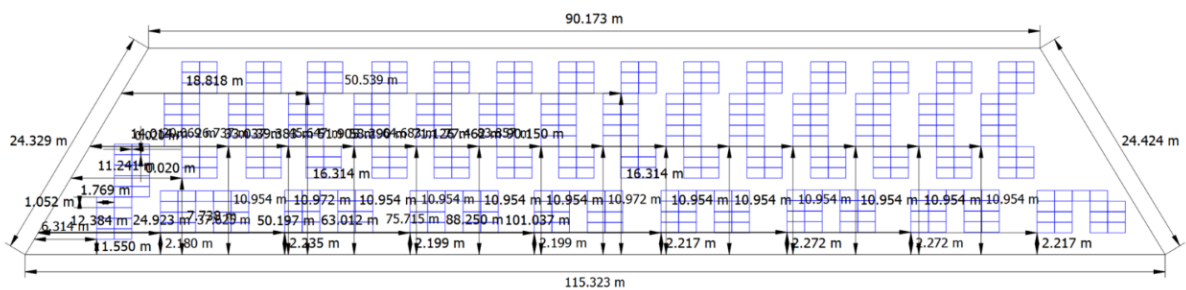
- The solar panel system will consist of 956 x 385kW Solar modules, 1 110kW, 1 100kW inverter, 1 40kW inverter, 1 36kW inverter and 1 30kW inverter. This equates to a 386.06 kWp roof mounted solar panel system.
- The Solar PV system installed on the building would not exceed 1 megawatt.
- The solar panels will not protrude more than 0.2 metres beyond the roof slope that are proposed to be located.
- The solar panels are not proposed to be located on a flat roof.
- The solar panels are not proposed to be installed within 1 metre of the external edge of the roof.
- The site is not within an area defined as article 2 (3) land.
- The site is not a schedule ancient monument.
- The buildings are not listed.
- The solar panels are not proposed to be installed on a wall.
- The solar panels are proposed to be sited in a way which seeks to minimise their effect on the external appearance of the building and amenity as practicably possible.

Proposed Roof plan indicating position of Solar Panels:

Proposed

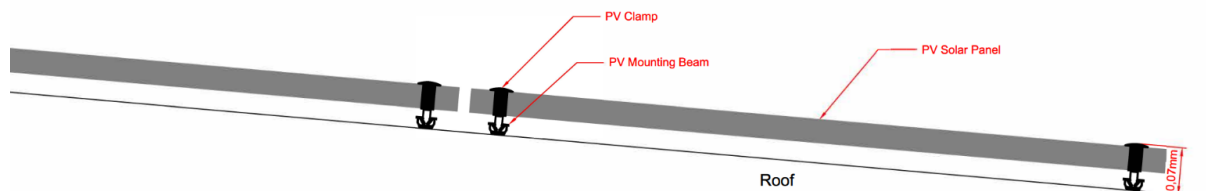


layout



with dimensions:

Proposed elevations:



Policy Context

Schedule 2 Part 14, Class J (*installation or alteration etc of solar equipment on non-domestic premises*) of the Town and Country Planning (General Permitted Development) Order 2015 (as amended) states that development is permitted for the installation, alteration or replacement of –

- a. microgeneration solar thermal equipment on a building;
- b. microgeneration solar PV equipment on a building; or
- c. other solar PV equipment on the roof of a building, other than a dwellinghouse or a block of flats.

The applicable classes related to the proposed development are Class J(c). Development is not permitted by Class J (c) if—

- a. the solar PV equipment or solar thermal equipment would be installed on a pitched roof and would protrude more than 0.2m beyond the plane of the roof slope when measured from the perpendicular with the external surface of the roof slope;
- b. the solar PV equipment or solar thermal equipment would be installed on a flat roof, where the highest part of the solar PV equipment would be higher than 1m above the highest part of the roof (excluding any chimney);
- c. the solar PV equipment or solar thermal equipment would be installed within 1m of the external edge of that roof;
- d. in the case of a building on article 2(3) land, the solar PV equipment or solar thermal equipment would be installed on a roof slope which fronts a highway;
- e. the solar PV equipment or solar thermal equipment would be installed on a site designated as a scheduled monument; or
- f. the solar PV equipment or solar thermal equipment would be installed on a listed building or on a building within the curtilage of a listed building.

Development is also not permitted by Class J(c) if the capacity of the solar PV equipment installed (together with any solar PV equipment installed under Class J(b)) to generate electricity exceeds 1 megawatt.

Conditions

Class J development is permitted subject to the following conditions—

(a) the solar PV equipment or solar thermal equipment must, so far as practicable, be sited so as to minimise its effect on the external appearance of the building and the amenity of the area; and

(b) the solar PV equipment or solar thermal equipment is removed as soon as reasonably practicable when no longer needed.

Class J(c) development is permitted subject to the condition that before beginning the development the developer must apply to the local planning authority for a determination as to whether the prior approval of the authority will be required as to the design or external appearance of the development, in particular the impact of glare on occupiers of neighbouring land, and the following sub-paragraphs apply in relation to that application.

Consultations

Ward Councillors – Cllr. Osborne supported the application stating that anything that increases the uptake of green energy, especially within industry is to be applauded.

Representations

A site notice was posted adjacent to the site. No comments have been received as a result.

Assessment

The proposed solar PV installation does not exceed any of the thresholds set out in Class J(c) of Part 14 of Schedule 2 of the General Permitted Development Order as set out in the application proposal above. The proposed system will be on two shallow pitched roof planes which are side (North and South, respectively) facing, and do not face onto the highway. Given the shallow pitch of the roof, the site visit showed that these roof planes are not visible from the street and are further screened by existing neighbouring commercial units.

That being said, to the rear of the building (to the West) is a playing field and the panels will be visible from users of the adjacent playing fields/recreation ground, but nonetheless it is not considered that they have a detrimental impact on the visual amenity of the area. Given that they are sited on side-facing roof planes, the development is considered to comply with condition J(a) in that the panels are sited to minimise the impact on the external appearance of the building and the amenity of the area.

The proposed panels will not significantly affect visual amenity given the buildings are in commercial use and as the panels are also set back from the highway and are set to low pitched rooflines.

Recommendation

Prior Approval – granted subject to conditions