

Note: Existing ramp & retaining wall to be demolished. Construction of new retaining wall to be costed. Architectural layout to supersede Structural proposal for costing purposes.

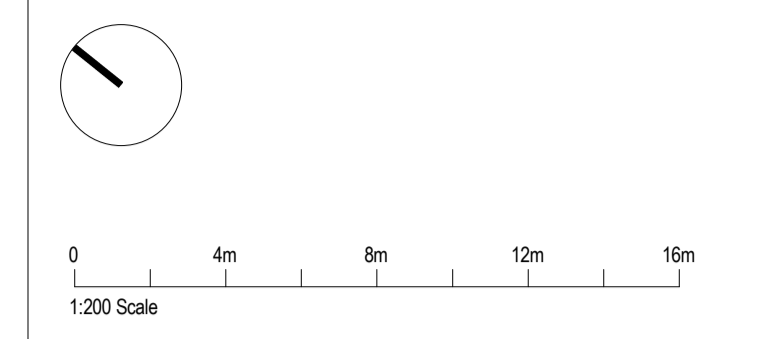
Existing Levels to Remain

Dashed line denotes extents of sough dyke culvert (measured internally)
Hatched area denotes extents of 72m easement.

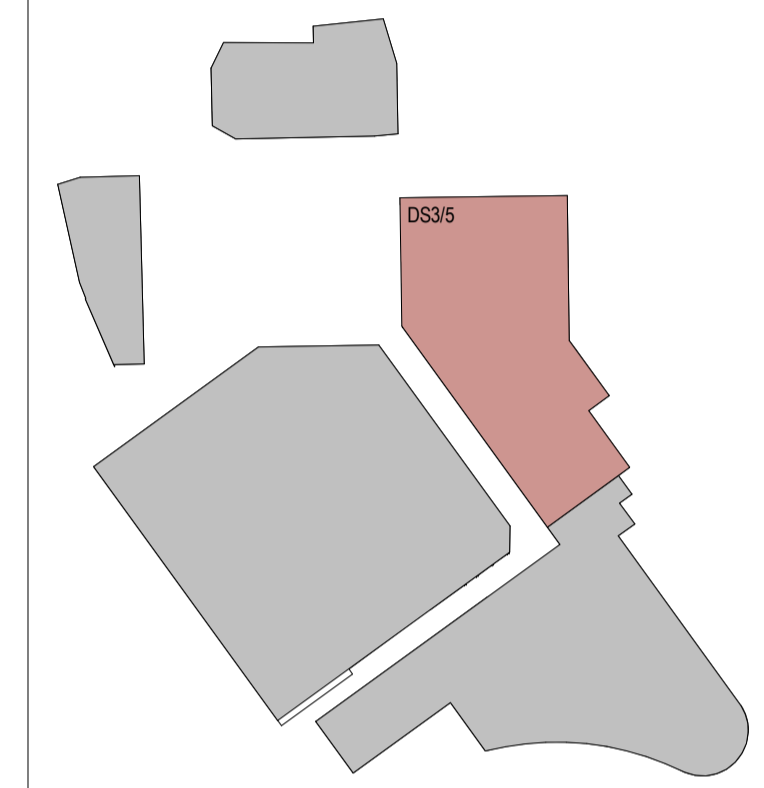
Dashed line denotes extents of sough dyke culvert (measured internally).
Hatched area denotes extents of 12m easement.

Hatched area denotes proposed location for sprinkler tank. Volume TBC by Fire Engineer

Notes:
 • This drawing is copyright.
 • Do not scale dimensions from this drawing.
 • This drawing is to be read in conjunction with all other relevant drawings.
 • All discrepancies on this drawing are to be reported to the architect.
 • Do not modify any element of this drawing.
 • Use drawing only for purpose(s) issued.

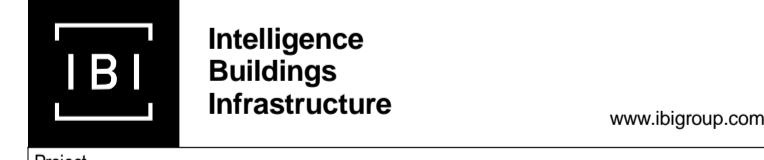


- The following external model files are included within this drawing:
- Medium Shopping Unit (A1-Retail)
 - Shopping Unit (A1-Retail)
 - Restaurant (A3-Food and Drink)
 - Leisure - Cinema (D2)
 - Leisure - Other (D2)
 - MSCP
 - Ancillary



Rev	Date	Revision Notes	Drawn	Review
5	12/04/17	Planning Issue	EA	SL
4	03/02/17	Stage 3 - General Update	EA	SL
3	12/12/16	Coordination Issue	EA	SL
2	19/08/16	Stage 2 Issue - General Update	EA	SL
1	29/07/16	Stage 2 Issue	EA	SL

Client: Turner & Townsend



Project: Better Barnsley Town Centre Phase 2 - Development Site 3/5 & 6/7

Drawing Title: DS.385 - Basement Floor Plan

Job Number: 50727	Date Created: 02/12/15	PAS 1192 Status Code
Scale@A1: 1:200	Purpose: Planning	

Drawing Number: BBTC_IBI_DS-35_A_F100_PL_BS_001
 Revision: 5