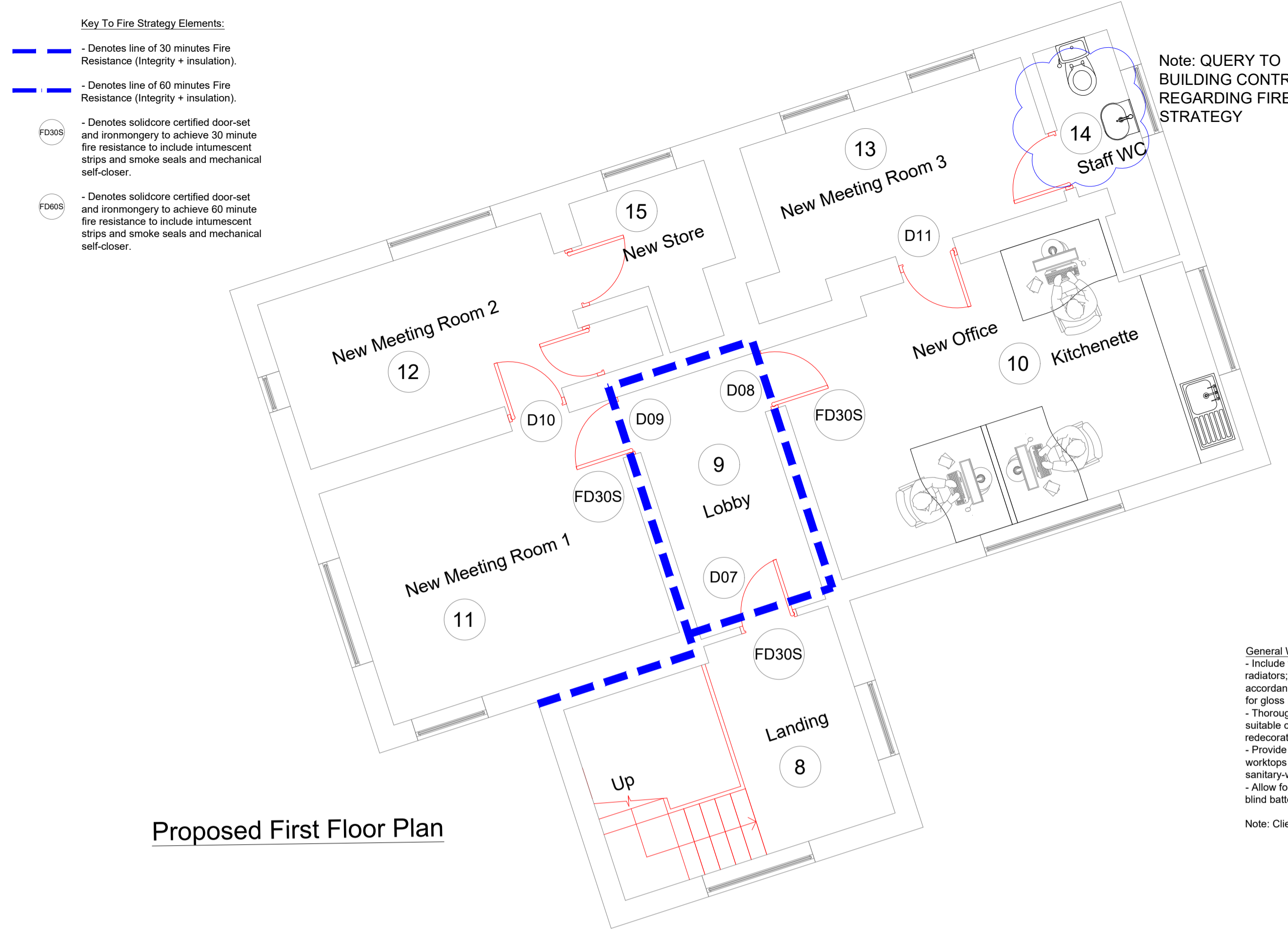


- Key To Fire Strategy Elements:**
- Denotes line of 30 minutes Fire Resistance (Integrity + insulation).
 - Denotes line of 60 minutes Fire Resistance (Integrity + insulation).
 - Denotes solidcore certified door-set and ironmongery to achieve 30 minute fire resistance to include intumescent strips and smoke seals and mechanical self-closer.
 - Denotes solidcore certified door-set and ironmongery to achieve 60 minute fire resistance to include intumescent strips and smoke seals and mechanical self-closer.

Proposed First Floor Plan



Note: QUERY TO BUILDING CONTROL REGARDING FIRE STRATEGY

- General Work Item Notes:**
- Include for thoroughly cleaning all existing radiators; Apply suitable proprietary radiator paint in accordance with manufacturers instructions. Allow for gloss painting all exposed pipework.
 - Thoroughly clean existing pvc windows with suitable cleaning products. Fully prepare and redecorate any timber windows.
 - Provide silicone seal at abutment of all new fitted worktops / base units / end panels and all new sanitary-ware.
 - Allow for supply and fix of new painted SW timber blind battens and new blinds to all windows.
- Note: Client to supply all loose fixtures and fittings



Proposed Ground Floor Plan (Part)

Note: Removal of existing textured ceiling finish in Entrance Lobby (Asbestos) to be considered to allow new electrical works - Lighting / Fire Alarm etc. Refer to Lancall Asbestos Report. Allow for new timber battens and plasterboard to provide new finish.

Note: Notional Communal Kitchen and Kitchenette layouts shown. Client to confirm exact layout. Ovens / hobs to be supplied by Client / Service User

Note: QUERY TO BUILDING CONTROL REGARDING FIRE STRATEGY

Note: Notional desk layout: Desks to be provided by Client. Layout to be confirmed. Refer to Electrical drawing for dado layout

Key To Work Items:

- Main Entrance**
 - Retain and protect existing floor finish. Provide replacement carpet tiles (to match existing) where missing. Ensure all existing carpet tiles securely adhered to terrazzo sub-floor beneath.
 - Carry out full paint decoration works to walls / ceilings and woodwork.
 - Retain and protect existing stair balustrade / handrails.
 - Remove existing under-stair door and frame (damaged following asbestos survey). Provide new door-set with new ironmongery to suit opening.
 - D01 & D02 - Denotes existing door and frame to be removed. Existing structural opening to be widened to provide 1010mm width; Provide new lintel and make good to reveals; Make good to disturbed floor to form level threshold. Wall construction unknown - Contractor to be investigate. Provide new FD30S door leaf to provide wheel-chair access - To be FD30S where door into stair-well. D01 + D02 to include clear glazed vision panels with 30 FR. Size and height to be in accordance with AD Part M.
- New Office & New Kitchenette**
 - Demolish existing internal wall forming passageway to Boiler Room.
 - Remove sanitary-ware from shower room.
 - Remove all obsolete wall finishes and remove floor finishes.
 - Remove door and frame to existing shower room.
 - Demolish wall forming shower room.
 - Make good to all disturbed wall, ceiling and floor constructions to receive new decorations and floor finishes.
 - Remove existing kitchen units; Make good to disturbed fabric.
 - Remove existing floor finishes to existing Living Area & Kitchen. Prepare sub-floor as described elsewhere.
 - Provide new heavy contract commercial office carpet tile to New Office Area as Messrs Polyflor or Tarkett.
 - Provide new heavy contract non-slip safety floor localised to Kitchenette as Messrs Polyflor or Tarkett. Provide new pvc coved skirting.
 - Prepare plastered walls to receive full paint specification decoration (spec as described elsewhere).
 - Where existing corridor partition removed allow for making good to plasterboard ceiling. Allow for providing new MF plasterboard ceiling to old shower room area and corridor to give uniform ceiling height throughout.
 - Prepare plastered ceiling to receive full paint specification decoration (spec as described elsewhere).
 - Prepare all existing woodwork including door faces / frames / architraves / window boards / skirting boards and the like to receive full gloss paint specification.
 - Provide new Concertina retractable security grilles to main office window.
 - Provide new worktop and base units to Kitchenette (with ceramic tiled splashback) as described elsewhere. Provide inset sink and drainer with pillar taps.
 - Form new wheelchair accessible entrance to side door: Widen opening as required and provide new PVC doorset to comply with AD Part M.
- Boiler Room / Elec Room**
 - Refer to Mechanical & Electrical Scope of Works for work to this room.
 - Carry out any BWIC as required in association. Ensure all / any service penetrations through walls are suitably fire stopped with certified products.
 - There are numerous existing holes and penetrations (pipework etc) through the boiler room walls; These will require fire stopping with 60 min. rating using suitable products such as Hilti or equivalent.
 - Remove existing boarded ceiling in both electrical area and boiler room area to expose timber joists to first floor (assumed). Provide suitable new British Gypsum MF plasterboard ceiling system to under-draw joists to provide 60 minutes fire resistance.
 - Remove existing door and frames and prepare opening to receive new door-sets.
 - Provide 2 No. new FD60S door-sets and ironmongery, including certified mechanical self-closer - D05 + D06.
- New Communal Kitchen**
 - Remove existing floor finishes to existing Living Area & Kitchen. Prepare sub-floor as described elsewhere.
 - Provide new heavy contract commercial non-slip vinyl to Communal Kitchen Area and adjacent circulation space as Messrs Polyflor or Tarkett.
 - Provide new pvc coved skirting.
 - Prepare plastered walls and ceilings to receive full paint specification decoration (spec as described elsewhere).
 - Prepare all existing woodwork including door faces / frames / architraves / window boards / skirting boards and the like to receive full gloss paint specification.
 - Form new opening into New Break Out Space; Assume wall to be load bearing masonry; Allow for new Naylor PC lintels or similar. Allow for making good to reveals and providing new level threshold to floor.
 - Provide worktop and kitchen units throughout this space to create 5 No. cooking stations. Allow for M&E services to cater for hobs and ovens and inset sinks + drainers-quantity TBA with Client.
- New Break Out Space**
 - Remove existing floor finishes to existing Living Area. Prepare sub-floor as described elsewhere.
 - Provide new heavy contract commercial timber effect flooring as Messrs Polyflor or Tarkett.
 - Prepare plastered walls and ceilings to receive full paint specification decoration (spec as described elsewhere).
 - Prepare all existing woodwork including door faces / frames / architraves / window boards / skirting boards and the like to receive full gloss paint specification.
- New Disabled WC**
 - Remove all sanitary-ware to Shower including wall cladding / tiling to shower. Make good to disturbed fabric.
 - Remove existing door + frame. Infill opening with timber stud and plasterboard partition with acoustic insulation.
 - Remove existing timber frame and plasterboard dry-lining (assumed - contractor to investigate) to provide required room dims for DocM WC. Make good to exposed plastered walls to receive new paint decorations. Make good to disturbed ceilings.
 - Form new opening to receive new door-set D04.
 - Provide new solidcore door-set D04 including AD Part M compliant ironmongery with bathroom lock.
 - Block up existing window internally.
 - Retain existing window and provide opaque film.
 - Remove existing floor finishes. Prepare sub-floor as described elsewhere.
 - Provide new heavy contract non-slip safety floor vinyl as Messrs Polyflor or Tarkett. Provide PVC coved skirtings.
 - Prepare plastered walls and ceiling to receive full paint specification decoration (spec as described elsewhere).
 - Prepare all existing woodwork including door faces / frames / architraves / window boards / skirting boards and the like to receive full gloss paint specification.
 - Provide new DocM sanitary-ware including all associated grab rails, soil + waste pipework and water supply pipework.
- New Store**
 - Remove all sanitary-ware to Shower including wall cladding / tiling to shower. Make good to disturbed fabric.
 - Remove existing floor finishes. Prepare sub-floor as described elsewhere.
 - Provide new heavy contract timber effect floor vinyl as Messrs Polyflor or Tarkett.
 - Prepare plastered walls and ceiling to receive full paint specification decoration (spec as described elsewhere).
 - Prepare all existing woodwork including door faces / frames / architraves / window boards / skirting boards and the like to receive full gloss paint specification.
- Staff WC**
 - Remove all sanitary-ware to Shower including wall cladding / tiling to shower. Make good to disturbed fabric.
 - Remove existing floor finishes to existing Shower. Prepare sub-floor as described elsewhere.
 - Provide new heavy contract non-slip safety floor vinyl as Messrs Polyflor or Tarkett.
 - Prepare plastered walls and ceiling to receive full paint specification decoration (spec as described elsewhere).
 - Prepare all existing woodwork including door faces / frames / architraves / window boards / skirting boards and the like to receive full gloss paint specification.
 - Provide new WC and new WHB.
- New Store**
 - Remove all sanitary-ware to Shower including wall cladding / tiling to shower. Make good to disturbed fabric.
 - Remove existing floor finishes to Shower. Existing sub-floor assumed to be suspended timber. Remove obsolete adhesive and smoothing compound as required. Allow for new 6mm ply underlayment and smoothing compound prior to laying new heavy contract timber effect floor vinyl as Messrs Polyflor or Tarkett.
 - Prepare plastered walls and ceiling to receive full paint specification decoration (spec as described elsewhere).
 - Prepare all existing woodwork including door faces / frames / architraves / window boards / skirting boards and the like to receive full gloss paint specification.

First Floor

- Main Entrance / Stair Landing**
 - Retain and protect existing floor finish.
 - Carry out full paint decoration works to walls / ceilings and woodwork.
 - Retain and protect existing stair balustrade / handrails.
- Lobby**
 - Remove and replace existing floor finish with new heavy contract commercial office carpet tile as Messrs Polyflor or Tarkett.
 - Carry out full paint decoration works to walls / ceilings and woodwork.
 - Provide new mechanical digital lock to door serving staircase to form secure line (staff access only).
- New Office & Kitchenette**
 - Remove existing kitchen units; Make good to disturbed fabric.
 - Remove existing floor finishes to existing Living Area. Prepare sub-floor as described elsewhere for first floor treatment.
 - Provide new heavy contract commercial office carpet tile to New Office Area as Messrs Polyflor or Tarkett.
 - Provide new heavy contract non-slip safety floor localised to Kitchenette as Messrs Polyflor or Tarkett.
 - Provide new modular suspended ceiling grid and tiles as Messrs Armstrong to suit commercial office environment.
 - Prepare all existing woodwork including door faces / frames / architraves / window boards / skirting boards and the like to receive full gloss paint specification.
 - Provide new worktop and base units to Kitchenette (with ceramic tiled splashback) as described elsewhere. Provide inset sink and drainer with pillar taps.
- New Meeting Room 1**
 - Remove existing kitchen units; Make good to disturbed fabric.
 - Remove existing floor finishes to existing Living Area. Prepare sub-floor as described elsewhere for first floor treatment.
 - Provide new heavy contract commercial office carpet tile to New Office Area as Messrs Polyflor or Tarkett.
 - Prepare plastered walls to receive full paint specification decoration (spec as described elsewhere).
 - Prepare plastered ceiling to receive full paint specification decoration (spec as described elsewhere). Make good to ceiling where light fittings removed.
 - Prepare all existing woodwork including door faces / frames / architraves / window boards / skirting boards and the like to receive full gloss paint specification.
- New Meeting Room 2 (Note: Inner Room - Fire strategy works required - Door to include suitable vision panel)**
 - Remove existing floor finishes to existing Living Area. Prepare sub-floor as described elsewhere for first floor treatment.
 - Provide new heavy contract commercial office carpet tile as Messrs Polyflor or Tarkett.
 - Prepare plastered walls to receive full paint specification decoration (spec as described elsewhere).
 - Prepare plastered ceiling to receive full paint specification decoration (spec as described elsewhere). Make good to ceiling where light fittings removed.
 - Prepare all existing woodwork including door faces / frames / architraves / window boards / skirting boards and the like to receive full gloss paint specification.
 - Modify existing door D10 to provide new glazed vision panel (as now inner room). Vision panel size and location to be in accordance with AD Part B and M.
- New Meeting Room 3 (Note: Inner Room - Fire strategy works required - Door to include suitable vision panel)**
 - Remove existing floor finishes to existing Living Area. Prepare sub-floor as described elsewhere for first floor treatment.
 - Provide new heavy contract commercial office carpet tile as Messrs Polyflor or Tarkett.
 - Prepare plastered walls to receive full paint specification decoration (spec as described elsewhere).
 - Provide new modular suspended ceiling grid and tiles as Messrs Armstrong to suit commercial office environment.
 - Prepare all existing woodwork including door faces / frames / architraves / window boards / skirting boards and the like to receive full gloss paint specification.
 - Modify existing door D11 to provide new glazed vision panel (as now inner room). Vision panel size and location to be in accordance with AD Part B and M.
- Staff WC**
 - Remove all sanitary-ware to Shower including wall cladding / tiling to shower. Make good to disturbed fabric.
 - Remove existing floor finishes to existing Shower. Prepare sub-floor as described elsewhere.
 - Provide new heavy contract non-slip safety floor vinyl as Messrs Polyflor or Tarkett.
 - Prepare plastered walls and ceiling to receive full paint specification decoration (spec as described elsewhere).
 - Prepare all existing woodwork including door faces / frames / architraves / window boards / skirting boards and the like to receive full gloss paint specification.
 - Provide new WC and new WHB.
- New Store**
 - Remove all sanitary-ware to Shower including wall cladding / tiling to shower. Make good to disturbed fabric.
 - Remove existing floor finishes to Shower. Existing sub-floor assumed to be suspended timber. Remove obsolete adhesive and smoothing compound as required. Allow for new 6mm ply underlayment and smoothing compound prior to laying new heavy contract timber effect floor vinyl as Messrs Polyflor or Tarkett.
 - Prepare plastered walls and ceiling to receive full paint specification decoration (spec as described elsewhere).
 - Prepare all existing woodwork including door faces / frames / architraves / window boards / skirting boards and the like to receive full gloss paint specification.

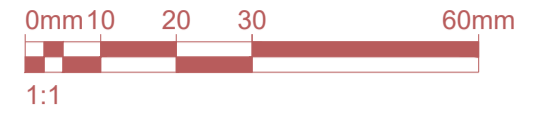
NOTE: IT IS ASSUMED ALL AREAS ARE TO RECEIVE FULL PAINT DECORATION THROUGHOUT. EXTENT OF NEW FLOOR FINISHES OF NEW FLOOR FINISHES / NEW FITTED KITCHENETTE FURNITURE TO BE AGREED PENDING AVAILABLE BUDGET.

Note: Allow for breaking up existing ramp and landing (partially) and form new with 215mm thick brick wall to form upstand and new balustrade and handrail. All to be constructed in accordance with AD Part M of Building Regulations.

PART PLAN SHOWING NEW EXTERNAL RAMP WORKS
Scale 1:50

DO NOT SCALE FROM THIS DRAWING. ALL DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR. REPORT ANY DISCREPANCIES TO DRAWING AUTHOR AND PROPERTY SERVICES TEAM. DRAWING OR CONTENTS SHOULD NOT BE DUPLICATED WITHOUT PRIOR CONSENT.

DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER PROJECT DOCUMENTS INCLUDING BUT NOT LIMITED TO DRAWINGS, SPECIFICATIONS, SCHEDULES



NOTES

NOTE: BUILDING REGULATION APPROVAL REQUIRED FOR WORKS TO TWO STOREY BUILDING AND 5 No. SINGLE STOREY FLATS WITHIN PHASE 1

NOTE: PLANNING PERMISSION REQUIRED FOR CHANGE OF USE TO TWO STOREY BUILDING AND 13 No. SINGLE STOREY FLATS

Rev	Notes	Date	Issued By
P4	Planning & B.Reg Notes added	21/07/21	MJY
P3	Access to Dis WC amended to B.Reg requirements	13/07/21	MJY
P2	Notes updated following FRA Initial visit and wheel-chair access route on GF Main building	15/06/21	MJY
P1	First Issue	28/05/21	MJY



SERVICE
Accommodation Strategy
BMC

PROJECT
Alteration & Refurbishment of Queens House, Queens Road, Barnsley, S71 1AR

TITLE
Proposed Ground & First Floor Plans
2 Storey Main Building

PROJECT REF	DRAWING REFERENCE	REV	SCALE	DISCIPLINE	SHEET SIZE	PURPOSE OF ISSUE	Drawn	Checked
Queens House	BMC-DR-A-006	P4	1:50	ARCHITECTURE	A1	PRELIMINARY	MJY	MJY