
2023/1058

Mr Thomas Scholey

150 Keresforth Hill Road, Kingstone, Barnsley, S70 6RG

Demolition of existing single storey extensions, the erection of a two-storey extension to the east facing elevation, single storey extension to the west facing elevation incorporating a first-floor balcony serving a two-storey extension to the south facing elevation, and various external and internal alterations to dwelling (Amended Description).

Site Description

The application relates to a plot located on the south side of Keresforth Hill Road, opposite the Green Acre School, and in an area that is a mix of Green Belt land and residential properties comprising detached and semi-detached dwellings of varying scale and appearance.

The property in question is a two-storey detached property constructed of brick with first floor rendering and pitched roof types with grey coloured roof tiles. The property benefits from various existing extensions, including single storey extensions of varying scale to the east, south and west. The property is abutted by large areas of hardstanding to the north and east with a modest sized garden to the west. Boundary treatments include brick walls, fencing and mixed vegetations of varying quality. Access is shared with adjacent property, 152 Keresforth Hill Road.



Planning History

There are no previous applications associated with this site.

Proposed Development

The applicant is seeking approval for the demolition of existing single storey extensions, the erection of a two-storey extension to the east facing elevation, single storey extension to the west facing elevation incorporating a first-floor balcony serving a two-storey extension to the south facing elevation, and various external and internal alterations.

The proposed extension to the east facing elevation would comprise two storeys with a projection of approximately 5.7 metres and a total depth of approximately 8.5 metres. The extension would adopt a pitched roof with north facing gable and an approximate eaves and ridge height of 5.2 metres and 7.4 metres respectively.

The proposed extension to the west facing elevation would comprise a single storey with a projection of approximately 4 metres and a total depth of approximately 14.4 metres. The extension would adopt a mono pitched roof with an approximate eaves and ridge height of 2.7 metres and 3.8 metres respectively. The extension would incorporate a first-floor balcony above its southernmost part.

The proposed extension to the south facing elevation would comprise two storeys with a projection of approximately 4.7 metres with a width of approximately 7.6 metres. The extension would adopt a pitched roof with a south facing gable and an approximate eaves and ridge height of 5.2 metres and 8.3 metres respectively.

The proposals would adopt matching external materials, including brickwork, grey coloured roof tiles and first-floor rendering.



PROPOSED FRONT West

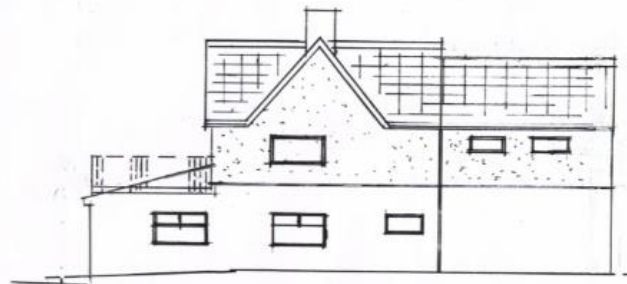


PROPOSED SIDE North

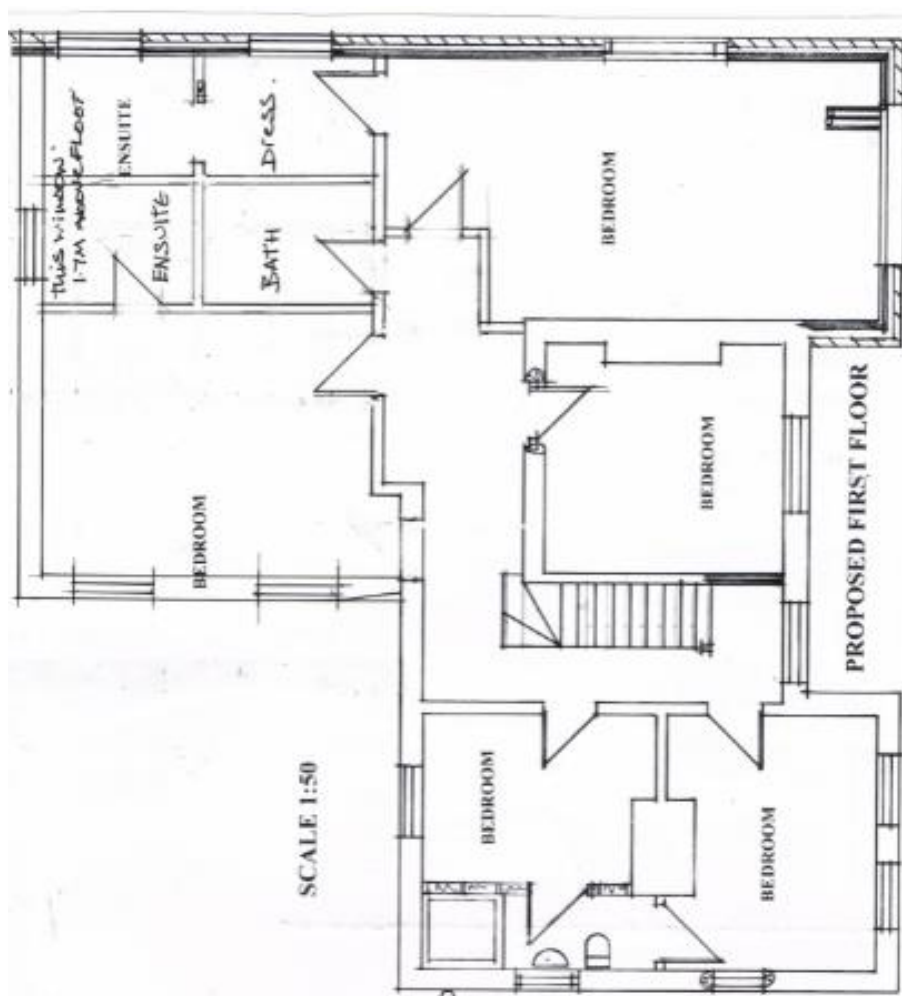
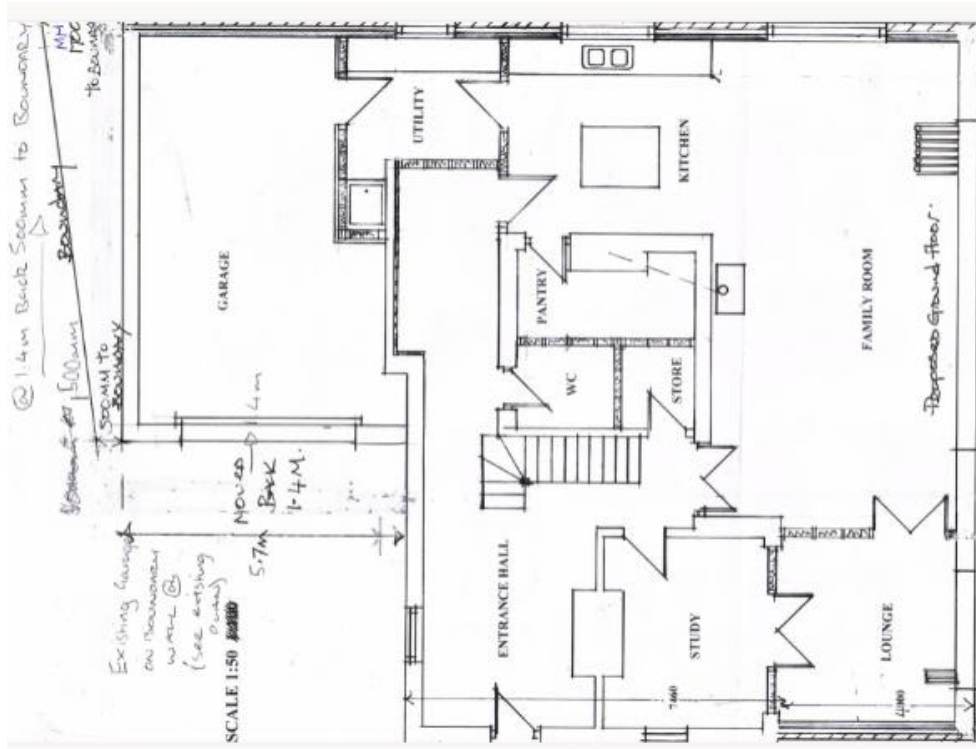


PROPOSED REAR East

1:100



PROPOSED SIDE South



Planning decisions should be made in accordance with the current development plan policies unless material considerations indicate otherwise; the National Planning Policy Framework (NPPF) does not change the statutory status of the development plan as the starting point for decision making. The Local Plan was adopted in January 2019 and is now accompanied by seven masterplan frameworks which apply to the largest site allocations (housing, employment, and mixed-use sites). In addition, the Council has adopted a series of Supplementary Planning Documents and Neighbourhood Plans which provide supporting guidance and specific local policies which are a material consideration in the decision-making process.

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027, or earlier, if circumstances require it.

Local Plan Allocation – Urban Fabric

The site is allocated as urban fabric within the adopted Local Plan which has no specific allocation and is located adjacent to Green Belt land. Therefore, the following policies are relevant:

- ***Policy SD1: Presumption in favour of Sustainable Development.***
- ***Policy GD1: General Development.***
- ***Policy D1: High quality design and place making.***
- ***Policy GB1: Protection of Green Belt.***
- ***Policy T4: New Development and Transport Safety.***

Supplementary Planning Document(s)

- ***House Extensions and Other Domestic Alterations.***
- ***Parking.***

National Planning Policy Framework

The NPPF sets out the Government's planning policies and how these are expected to be applied. The core of this is a presumption in favour of sustainable development. Proposals that align with the Local Plan should be approved unless material considerations indicate otherwise. In respect of this application, relevant policies include:

- ***Section 12: Achieving well-designed and beautiful places.***
- ***Section 13: Protecting Green Belt land.***

Other Material Considerations

- ***South Yorkshire Residential Design Guide 2011.***

Consultations

No consultees were consulted on this application.

Representations

Neighbour notification letters were sent to surrounding properties. One representation was received outlining the following concerns:

- The garage of the existing house forms a substantial part of the boundary and is concerned that the proposed development provides a standard of security, quality of materials and construction at least to the same standard as existing.
- The footprint of the development is greater than the existing garage and extends further along the boundary wall. Would like to see details of how the foundations of the boundary wall will be protected during the proposed construction and details of the security, quality of materials, and construction at least to the same standard.
- The 'rear' elevation of the development is in close proximity to a cesspit for a drainage system and would like to see details of the protection of the cesspit from ground movement during the proposed construction.
- In proximity to the side and rear elevations of the proposed development at the rear corner there is a large gateway access to the site which is used for taking refuse and recycling bins in and out and through to the front for collection and would like to see access and egress protected during the construction of the development and from site storage, traffic and delivery of materials and plant.
- Notice that the Party Wall Act 1996 will apply to the works to the rear of the proposed development where the proposed works affect the boundary.

An existing garage extension to the south and east of the application dwelling forms part of the eastern boundary treatment where an existing wall does not appear to have been continued to extend the full length of the boundary line. A proposed site plan shows that a 1.8-metre-high fence (to be erected as permitted development) would be installed when the existing extension is demolished.

The proposed two-storey extension to the east facing elevation of the application dwelling would have a greater depth than the existing garage extension. However, the extension would be set in from the boundary line with approximate minimum and maximum separation distances of 0.5 metres and 1.4 metres maintained respectively. Concerns regarding the potential impact to foundations and ground movement are a matter for the process of obtaining Building Regulations approval.

Details regarding construction and construction related activities are not required for applications proposing householder development due to their temporary nature.

Boundary disputes and the Party Wall Act are considered to be a civil matter and are entirely separate from any planning permission or Building Regulations approval. Nevertheless, a standard informative regarding ownership and the applicant's responsibility to investigate whether any neighbours need to be notified under the Act will be attached to any forthcoming decision.

Assessment

Principle of Development

Extensions and alterations to a domestic property are acceptable in principle provided that they remain subsidiary to the host dwelling, are of a scale and design which is appropriate to the host property and are not detrimental to the amenity afforded to adjacent properties, including visual amenity and highway safety.

The application site is located adjacent to Green Belt land but is allocated as urban fabric within the adopted Local plan. As such, a separate Green Belt assessment is not required in this instance. However, consideration will be given to the impact upon and preservation of the openness of the Green Belt in relation to visual amenity.

Residential Amenity

Proposals for extensions and alterations to a domestic property are considered acceptable provided that they would not adversely affect the amenity of neighbouring properties.

The proposed single storey extension to the west facing elevation of the application dwelling would be located to the south-east of adjacent property, 152 Keresforth Hill Road. Extensions located to the south, south-east and south-west of neighbouring properties are generally considered to have a greater impact regarding overshadowing. As such, it is acknowledged that some overshadowing could occur. However, any potential impact is not considered to be significantly detrimental and is likely to be lessened by existing boundary treatments and the location of the neighbouring property within its respective plot which is set back from the application dwelling. Moreover, the extension would replace an existing extension of a similar scale, including projection and height.

The proposed two-storey extensions to the east and south facing elevations of the application dwelling would be located to the south-west of adjacent property, 148 Keresforth Hill Road. It is acknowledged that some overshadowing could occur. However, any potential impact is not considered to be significantly detrimental and is likely to occur and be limited to the evening and not at peak times for use of a rear garden. Moreover, any potential impact is unlikely to affect the rear-facing habitable room windows of 148 Keresforth Hill Road as the property is set forward within its respective plot.

An existing ground floor window located on the north elevation of the existing application dwelling would be replaced with a new entrance doorway and two new first-floor windows would be inserted. Two new first-floor windows would also be inserted on the north facing elevation of the east extension. It is acknowledged that some additional overlooking could occur as the first-floor windows of the east extension would be set back from the rear elevation of 148 Keresforth Hill Road. However, any potential impact is not considered to be significantly detrimental as the proposed first-floor windows would not directly face towards the habitable room windows of any neighbouring properties.

One first-floor window would be included on the east facing elevation of the east extension and would face towards the rear gardens of 148 Keresforth Hill Road and other surrounding properties. As such, it is acknowledged that some overlooking could occur. However, the proposed window would have a secondary purpose serving a non-habitable room (ensuite) which is unlikely to be in constant use throughout the day and would have obscure glazing.

Ground floor bi-folding doors, and a first-floor glazed door serving a first-floor balcony would be inserted on the west facing elevations of the west and south extensions. The proposed glazing and balcony would face into the application site on towards the Green Belt land opposite. The proposed balcony could provide some views to the north. However, these are likely to be limited to the southern side elevation of 152 Keresforth Hill Road where secondary windows are not afforded the same protections as habitable room windows located on the front and rear elevations of neighbouring properties. New windows would be inserted on the south facing elevations of all extensions and would face away from the application site towards the Green Belt land immediately adjacent.

The application dwelling is set back from both 148 Keresforth Hill Road and 152 Keresforth Hill Road and the proposed extension would not be erected in immediate proximity to either property. As such, it is not considered that the proposal would result in significantly reduced levels of outlook.

A proposed 1.8-metre-high fence (to be erected as permitted development) to part of the southern boundary of the application site could impede outlook from the proposed ground floor windows of the south and west extensions to the application dwelling. However, the windows would serve a dual aspect room that would also be served by glazed bi-folding doors on the west facing elevation of the west extension. As such, it is not considered that the amenity of the occupants of the application dwelling would be significantly detrimentally impacted.

The proposal is therefore not considered to result in significantly increased levels of overshadowing, overlooking or reduced levels of outlook and is therefore considered to comply with *Local Plan Policy GD1: General Development* and would be acceptable regarding residential amenity.

Visual Amenity

Proposals for extensions and alterations to a domestic property are considered acceptable provided that they do not significantly alter or detract from the character of the street scene and would sympathetically reflect the style and proportions of the existing dwelling.

The application dwelling is a modest sized two-storey detached dwelling located on the south side of Keresforth Hill Road. The street scene of Keresforth Hill Road is varied and is characterised by a mix of dwelling types of varying scale and appearance. The proposals would be partially visible from the public realm of the principal highway. However, the prominence of the proposals in the street scene is likely to be lessened given that the application dwelling is set significantly back from the highway and does not form part of the main building line.

The primary contributors to the character of the street scene would be the north facing elevation of the existing dwelling and the north facing elevations of the proposed extensions to the east and west. Minimal alterations are proposed to the north elevation of the existing dwelling and would include the replacement of an existing ground floor window with a new entrance door and the insertion of two new first-floor windows that would align vertically and horizontally. The proposed extensions to the east and west would have the appearance of being side extensions. However, these extensions are not considered to be true side extensions, and although the two-storey east extension would adopt a projection more than two thirds the width of the north elevation of the original dwelling, the extension would be set significantly back from the north elevation (approximately 6.1 metres) and would be set below the ridge of the roof of the existing dwelling. Therefore, on balance, the proposed east extension is considered to appear sufficiently subordinate and is unlikely to have a significant detrimental impact on the character of the street scene and is therefore considered acceptable in this instance. The proposed single storey west extension would maintain a form and appearance similar to that which currently exists albeit with a slightly greater projection.

Generally, the proposals would adopt sympathetic forms and features, including pitched roof types with gable elements and external materials that would appropriately reflect the existing character of the application dwelling. New windows would reflect the style and proportions of existing windows and would align vertically and horizontally, except for larger glazed bi-folding doors to the west that would not be visible from the public realm. A proposed first-floor balcony to the west could be partially visible from the public realm. However, the balcony would be limited to the southernmost part of the west extension with the remainder adopting a mono pitched roof that could offer some screening. The balcony would be set significantly back from the highway and is therefore not considered to be an overly dominant or prominent feature. The proposed development would also be limited to the curtilage of the application dwelling and is therefore unlikely to impact the openness of the Green Belt land to the south and west of the application site.

As such, the proposals would appear sufficiently subordinate and are not considered to be overbearing nor is it considered that they would significantly detract from or alter the character of the application dwelling or the wider street scene. The proposals are therefore considered to comply

with *Local Plan Policy D1: High Quality Design and Placemaking* and would be acceptable regarding visual amenity.

Highway Safety

The proposal would result in an overall reduction to the amount of hardstanding available. However, a sufficiently sized proposed ground floor garage alongside remaining hardstanding would ensure that a minimum of two off-street parking spaces would be maintained, in accordance with the parking SPD.

The proposal is therefore considered to comply with *Local Plan Policy T4: New Development and Transport Safety* and would be acceptable regarding visual amenity.

**Recommendation -
Approve with Conditions**