

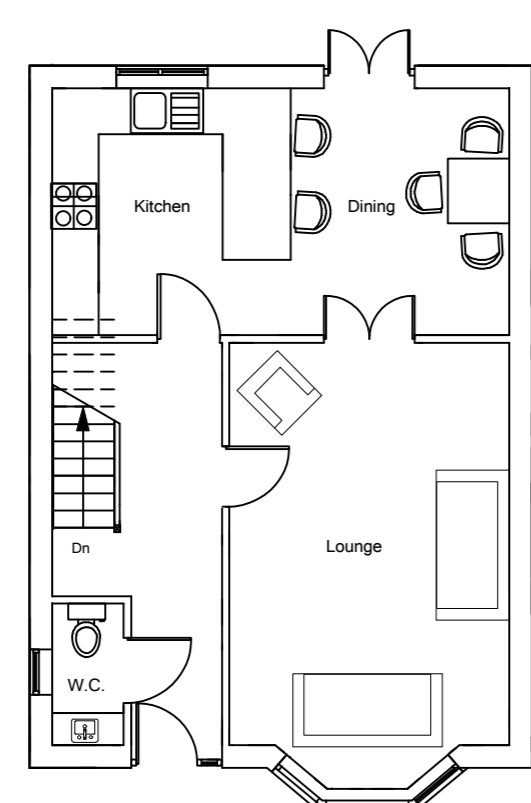
Notes

Walls
Stonefacing Brick To Be Agreed With Planning Officer
stone heads
projecting stone cill

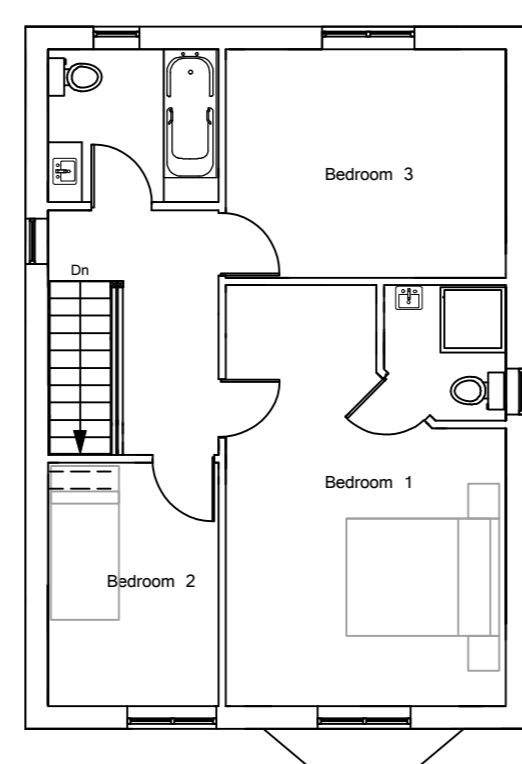
Roof
Brickslate or Thruslate
conservation rooflight
Brass Martin Cast Or Stormguard Aluminium
Half Round Gutter

Windows
Residence Collection Or Similar
Upvc Flush Fitting Casements.
Detailing To Be Repeated Across Window Types.
Windows Set Back 50mm In Reveals
RAL Number To Be Agreed

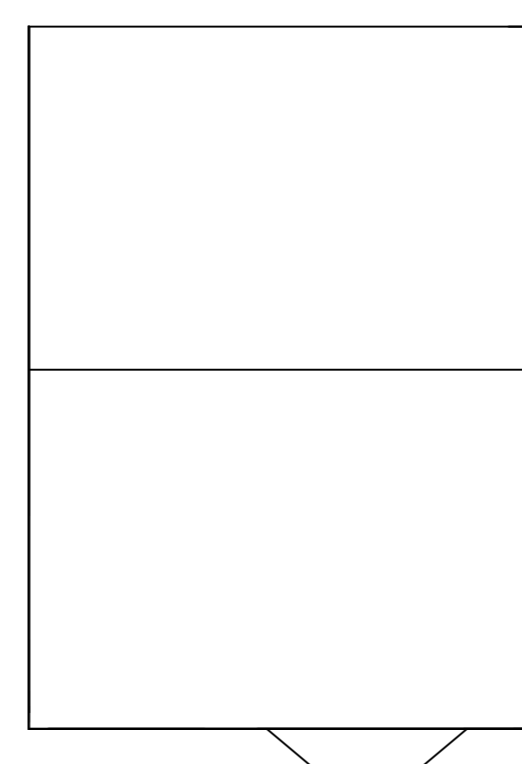
All Soil And Vent Pipes To Be Internal



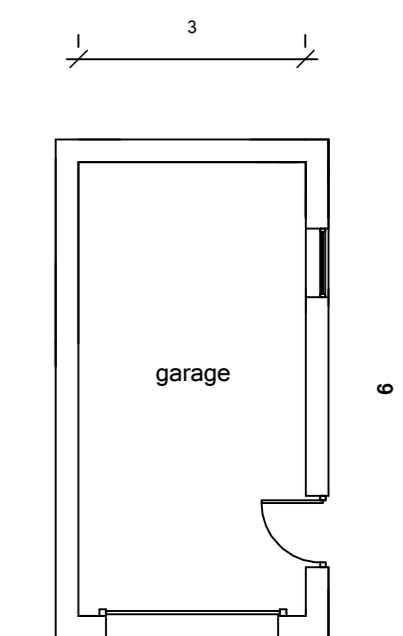
Ground Floor Plan



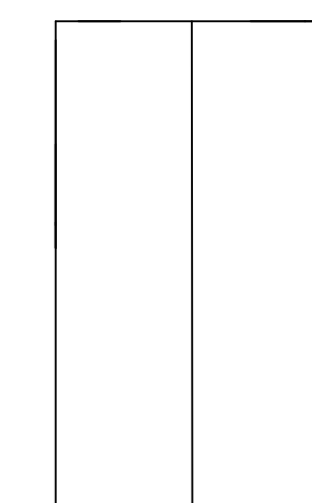
First Floor Plan



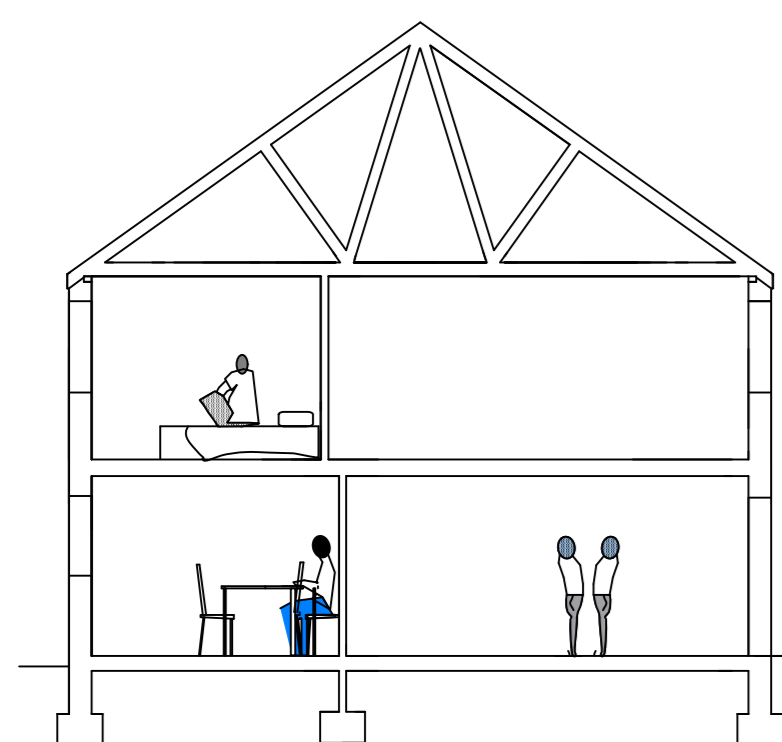
Roof Plan



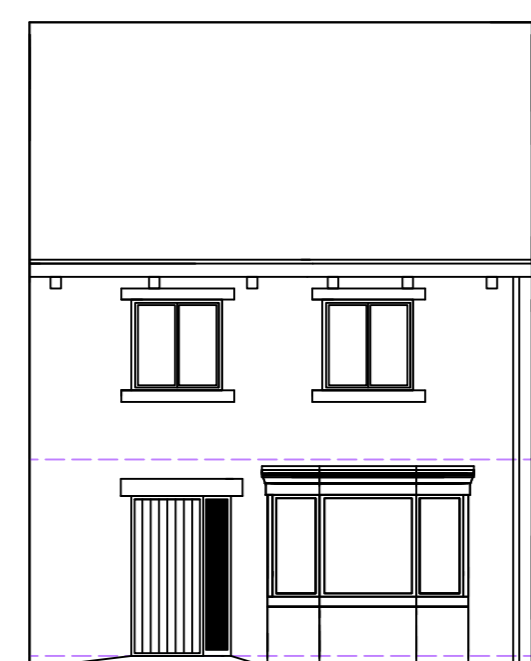
plan



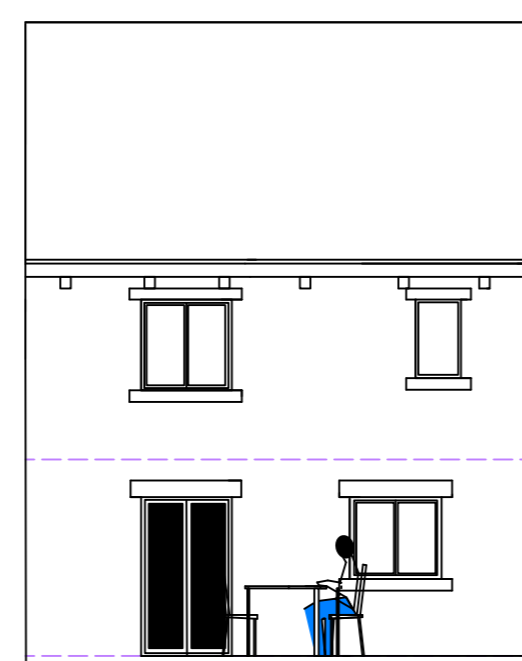
roof



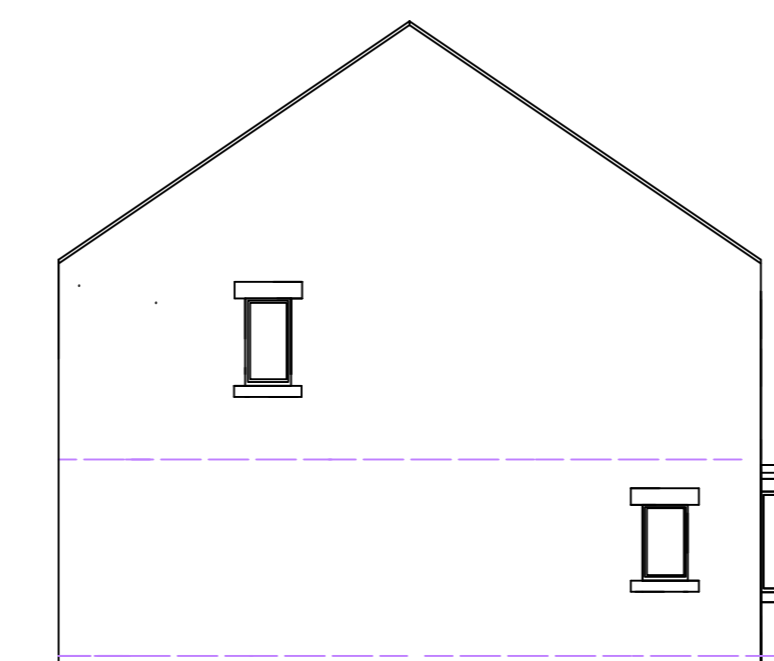
Section



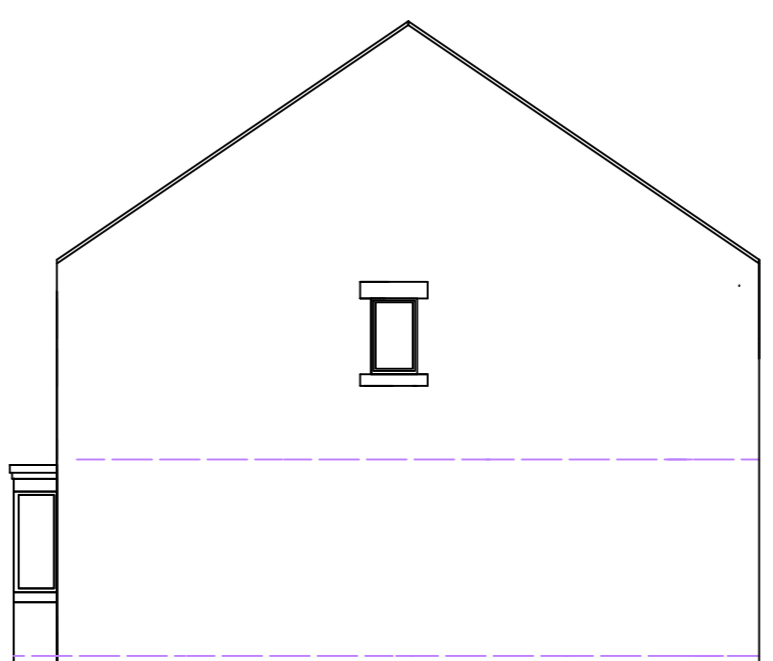
Front



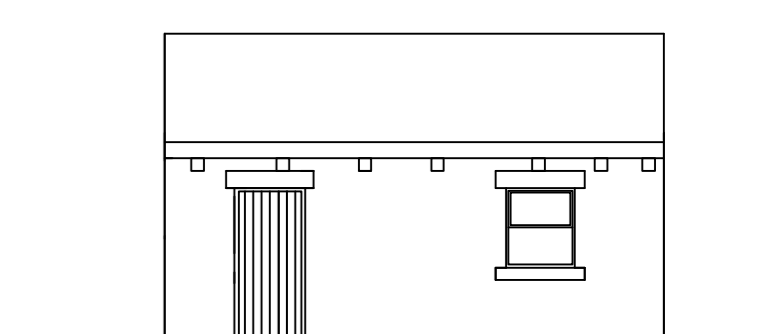
Rear



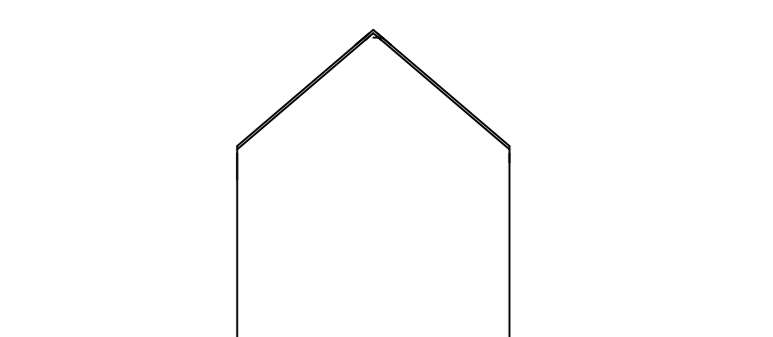
Side



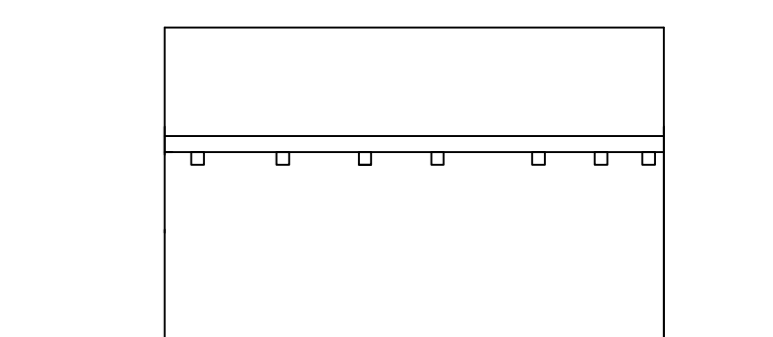
Side



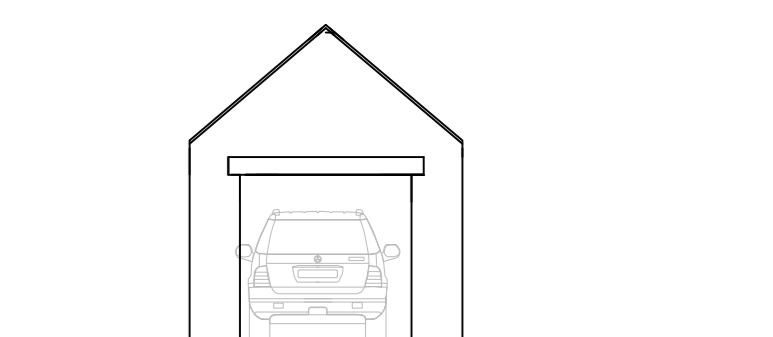
garage side elevation



garage rear elevation



garage side elevation



garage front elevation

REVISION NOTE	DATE	DRAWN BY

Andrew Bailey	PADDOCK ROAD
Architect	PHASE 2-3
CLIENT: RHA PROPERTIES LTD	JOB NO: 10000000
DATE: July 2022	SCALE: 1:100 (A1)
DRAWING TITLE: PLANS SECTION AND ELEVATIONS	DWG NO: REV
DRAWN BY: JMB	CHECKED: JMB
WORK STAGE: 3 - DEVELOPED DESIGN	

ANSL LTD
16 LINDHALL ROAD, HORNWELL, BARNSLEY S17 0NL
T: 0113 282 1838 E: ANDREW@ANSLARCHITECTS.CO.UK WWW: WWW.ANSLARCHITECTS.CO.UK
COPYRIGHT © 2022 ANSL LTD
ALL RIGHTS RESERVED

No Dimensions To Be Issued From This Drawing Which Is The Property Of The Company ANSL LTD. It Is Not To Be Used Or Disclosed In Any Way Except As Authorised By The Company.

The Architect ANSL LTD Owns All Intellectual Property Rights Including The Copyright In The Drawings And Documents Produced In Performing The Services And Generally Assents The Architect's Moral Rights To Be Asserted By The Author of Such Work.

No Part Of Any Design By The Architect May Be Registered By The Client Without Written Consent Of ANSL LTD.

The Drawing Will Not Be Approved To Any Third Party. The Client Is Responsible For Providing The Correct Site Boundary/Planning Information And Any Consents Or Licences Relating To The Site. ANSL LTD Will Assume Site Boundaries As Clearly Defined/Marked, Unless Otherwise Indicated By The Client.

No Work To Be Carried Out Without Planning Permission. Use Of Any Part Planning Conditions Have Been Investigated And Used A Building Regulations Application Has Been Submitted. All Work Carried Out Before Building Regulations Approval Has Been Granted Will Be Subject To Clients Own Risk.

Principal Contractor/Developed manager Is Responsible For Ensuring Works Are Signed Off And Certificate Of Completion Is Issued By Building Control.

Any Building Works Within 6M Of A Neighbouring Property Foundations Will Require You To Notify The Owner Of That Property Of Your Intentions At Least One Month Before You Start Work. Work To An Existing Party Wall Requires You To Give At Least Two Months Notice Of Your Intentions. A Consent To Carry Out Work Cannot Be Reached Proceeding Dealing With A Dispute Should Be Followed Under Party Wall Act 1999.

It Is The Responsibility Of The Principal Contractor To Notify The Architect Of Any Discrepancies On The Drawing Prior To Construction. All Dimensions To Be Checked On Site. If In Doubt Ask!

NO CAD DRAWINGS WILL BE ISSUED TO ANY THIRD PARTY !!