

Proposed Change of Use of Barn to Dwelling
Unit 2 Manor Farm
Stainborough Lane
Hood Green
Barnsley
S75 3HA

Ref 20.05

June 2020

DESIGN STATEMENT

This statement has been prepared in support of a Prior Notification for Change of Use under Class Q – agricultural buildings to dwelling houses of The Town and Country Planning (General Permitted Development) Order 2015.

1.0 Location

The site is located to the south side of Stainborough Lane approx. 0.7 miles south of Hood Green. The agricultural buildings that are the subject of this notification are shown edged in red on the image below.



Fig 01. Aerial View of the site showing the proposed change of use buildings edged in red.

2.0 Description

The site at Manor Farm comprises a farmhouse and outbuilding to the east, a range of agricultural buildings and a building in commercial use to the north west corner of the site. Many of the buildings which are no longer required for agricultural use are ad-hoc and have

been erected over the years to provide shelter for cattle and sheep. Farming operations are contracting as the owners retire and their son is relocating the business to Stone Farm Hermit Hill Lane Wortley which is just across the valley to the south.

Two of the redundant agricultural buildings are considered to be suitable for change of use under Class Q and planning policy matters are examined in more detail within the accompanying Planning Statement. They are referred to as Building C on the Topographical Survey.

3.0 Existing Buildings

The subject buildings comprise a barn of two storey scale, although there is currently no first floor, and a single storey attached barn which are shown on a survey of the buildings ref: S03 Rev A.

The buildings to be retained are almost completed surrounded by other agricultural buildings and so difficult to photograph externally.



Fig 02. View from rear yard looking north.



Fig 03. View of east gable looking north.



Fig 04. View of east gable looking south.



Fig 05. Internal view looking west.



Fig 06. Internal view looking east

The two-storey element is constructed in a concrete portal frame with a concrete floor. The roof is covered with fibre cement sheets supported by concrete purlins. The external walls comprise blockwork infill between the concrete frames up to a height of around 3.2 meters on three elevations and 1.2m high on the south west elevation. Above the blockwork is fibre cement sheeting supported on concrete sheeting rails up to eaves level.

The building is subdivided into four bays by the concrete portal frame and there is a gable frame at each end. The main framework of the building is in tact with no significant damage. There is no sign of structural movement or settlement in any of the frames or blockwork and the building overall is structurally sound.

At the rear (north) there is a single storey building which is of similar construction.



Fig 07. Narrow view of west elevation.



Fig 08. Typical external elevation – east.

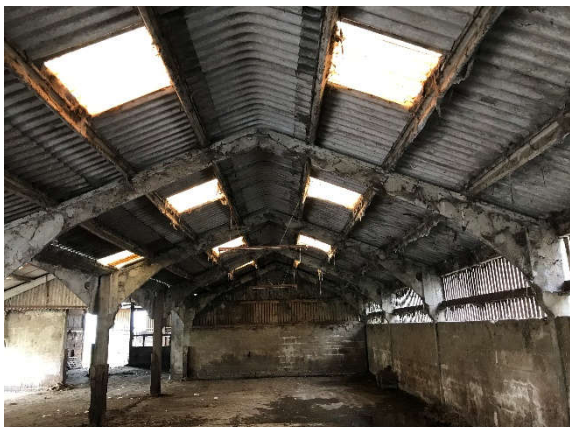


Fig 09.
Internal view of Shed 1 looking south.



Fig 10.
View of gable wall of
single storey buildings
looking south.

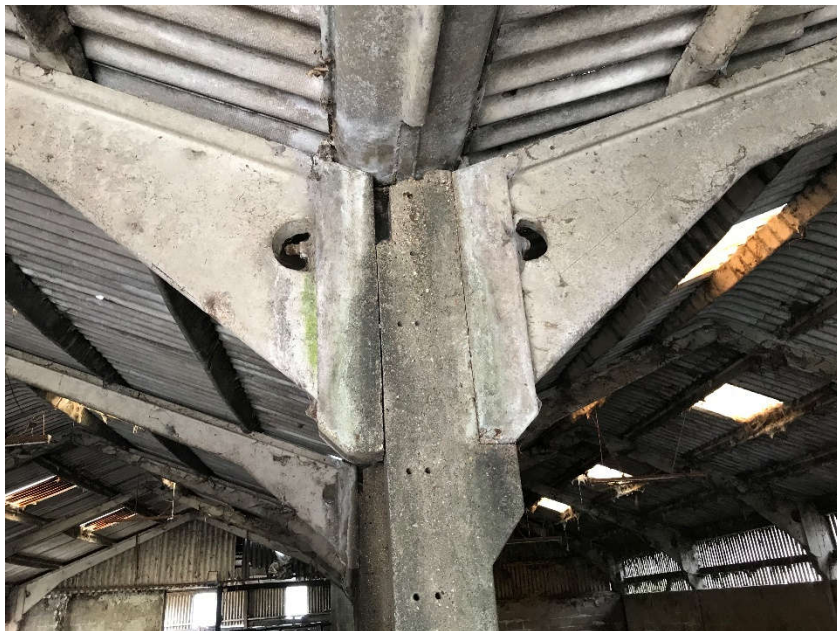


Fig 11. Shed 2 is a later addition which is evident from the construction of the concrete portal frame which attaches (left) to the original portal frame of Shed 1 (on the right) which runs along the centre-line of the building.

Shed 1 is to be retained as it a free-standing structure and would not require any additional structural alterations to allow conversion. It has five bays subdivided by the concrete portal frame and with a gable frame at each end and a concrete floor. The roof is fibre cement sheeting supported by concrete purlins. The west wall is constructed of blockwork infill panels between the concrete frame up to a height of 1.9 meters with 'yorkshire' boarding above up to eaves. The north gable also has infill blockwork but with fibre cement cladding supported by concrete sheeting rails.

The single storey building is in similar condition to the larger building and without any significant structural defect.

4.0 Proposals

4.1 Design

Proposals for the Change of Use are provided on drawing ref: P03 Rev B. The external building envelope has been maintained. Where possible existing apertures have been used as window and door openings, particularly to the north east and south west elevations where large glazed frames have been installed into existing openings – Typical elevation below.

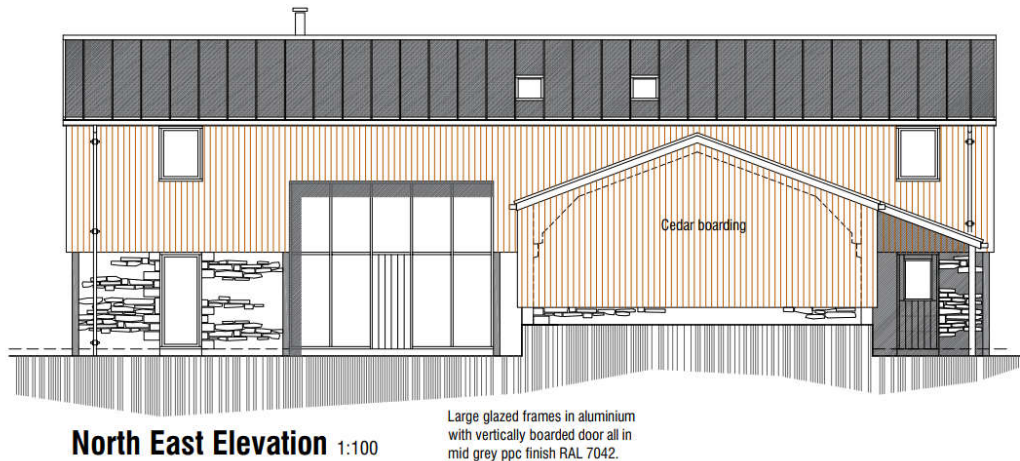


Fig 12. Typical elevation of converted barn.

External materials such as timber boarding and dry stone walling to the external walls have been chosen to maintain the agricultural vernacular whilst combining this with more contemporary elements such as large glazed aluminium frames and standing seam roof cladding to create an attractive modern building, with large open plan internal spaces and an external appearance that sits comfortably within the rural landscape.

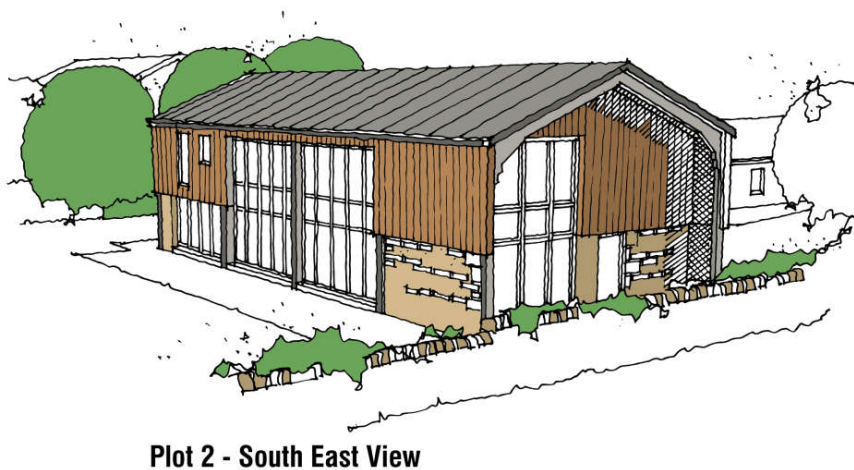


Fig 13. Illustrative view.

The eastern gable wall has been recessed to expose the concrete frame and reduce the impact of overlooking between the gable wall of the converted barn and the existing farmhouse although distances and juxtaposition suggest that this that there is unlikely to be any issue

with overlooking. This feature does help to emphasise the agricultural history by exposing the concrete gable frame as well as taking advantage of excellent views to the south west.

The council will be aware of a concurrent planning application to redevelop land adjacent by replacing a commercial building with a dwelling of similar design and removing unsightly agricultural buildings which will improve openness and enhance the appearance and visual amenity of the countryside.

4.2 Ecology

Middleton Ecology has prepared a bat and bird survey which found that:

'Very few potential roost features were noted and those present were fully inspected. It is considered that the surveyed buildings display negligible bat roost potential with roosting bats considered highly likely to be absent from the site.'

The survey did confirm the presence of nesting swallow and house sparrow however no other species including barn owl were recorded.

The report does suggest that two bat roosting features are included in the proposals to *'enhance the ecological value of the site'* and one of these has been included at high level on a west facing gable. In addition, the plans show provision for swallow nesting cups and house sparrow nesting boxes as recommended.

4.3 Trees and Hedges

The proposals indicate the removal of 1No tree ref: T1 on drawing P05B Site Plan and 7.0 meters of hedge to the north western boundary. The tree removal improves visibility sight lines in the westerly direction at the access and is mitigated by additional tree planting and the re-planting and extension of the boundary hedge.



Fig 07. View of T1 looking south west.



Fig 08. Image of T1 looking north east.

T1 is a semi-mature oak tree with a diameter of 0.5m and a height of 10 meters. The trunk is within 2 meters of the edge of the road resulting in very heavy pruning on the north west side creating an unbalanced crown. There is a branch at 3m above ground level which shows signs of a cavity. There is no tree preservation order although there is a TPO which protects oak trees to the south west. T1 has a backdrop of a wood on the opposite side of Stainborough Lane (to the north west) and its loss to improve visibility at the access would not be significant and would be worthwhile.

The 7.0m long section of hedge to be removed is located immediately south west of T1 and will be replaced with a mixed thorn hedge extending 19.7 meters long to the access as shown on drawing ref: P05B.

It is proposed to provide additional planting, which could be used to enhance the avenue of protected oaks along the south boundary of Stainborough Lane, details to be conditioned subject to a landscaping proposal.

4.4 Ground Conditions

A Phase 1 Environmental Appraisal and Coal Mining Risk Assessment (CMRA) has been undertaken by Rogers Geotech and a copy of the report is included with the application documents.

The CMRA identifies the possibility of un-recorded shallow workings and recommends further investigation in the form of drilling to further explore the ground conditions. This work is to be undertaken and the results made available to the council prior to any development commencing on site.

The desk-based report recommends further intrusive investigation prior to development taking place.

5.0 Evaluation

5.1 Use

The Barnsley MBC Local Plan maps indicate that the site is located within the Green Belt. The Change of Use of agricultural buildings into dwelling houses is allowed under GPDO and this is explained further in the accompanying Planning Statement.

5.2 Amount

The existing commercial use comprises two buildings shown on the Topographical Survey and individual Building Surveys.

The existing buildings have a combined ground floor area of 334m². This will increase by the installation of a first floor in the two-storey barn resulting in a total combined floor area of 418m².

5.3 Layout

The proposed Change of Use is referred to as Plot 2 on the Site Plan, an extract of which is shown in Fig 09.

The position of the existing access has been retained and will serve the change of use (Plot 2) and the replacement dwelling (Plot 1) which is the subject of a separate application. There is adequate space at the access to Stainborough Lane to provide hardstanding for waste and recycling bins to be stored on collection day.

The shared access connects to a parking and turning area within the plot via an automatic gate and the entrance to the dwelling is taken from the parking area.

There is sufficient opportunity within the site for the removal of the hedge and one oak tree to be mitigated by proposals for replanting which is to be conditioned subject to a detailed landscaping design.

The proposals provide details of hard landscaping on the Site Plan ref P05 Rev B which includes tarmac to the new shared access, permeable bound gravel to the parking area and natural or approved artificial stone flags to paths. Walls within the site are shown as traditional drystone with irregular topers and wall heights are provided.

6.0 Access

The position of the existing access has been retained. It currently serves the adjacent commercial use; it is informal and surfaced with a concrete apron to the Stainborough Lane frontage as shown below. The business employed 3 staff and provides parking and manoeuvring for at least 6 vehicles.



Fig 11. Existing access to Stainborough Lane.



Fig 12. View from access looking s-west.



Fig 13. View from access looking n-east.

The proposals are to formalise the entrance to a shared access serving two dwellings. It is considered that this is likely to have no significant effect on the intensification of use compared to the current business use, however it is proposed to remove one tree and replant part of a hedge to improve visibility sight lines to the south west as shown on the Site Plan.

Stainborough Lane is 4.5m wide at the access and there are no footpaths. The proposed access has been designed at 6.0 meters wide to aid vehicles entering and leaving the site and allowing two vehicles to pass at the entrance. New boundary walls and gate posts have been set back behind the visibility sight lines and splays provided to aid inter-visibility for pedestrians. The shared access drive will be surfaced in tarmac with a cobbled cross-over strip and give access to individual parking areas with automatic gates.

The proposed dwelling has a garage with internal dimensions of 6.8 x 8.98m providing three parking spaces and there is room to park at least a further two cars on the drive without compromising turning space.

The access is capable of accommodating a fire appliance that could reverse to within hose length of all corners of the proposed dwelling. Refuse and recycling bins would be left adjacent to the access for collection.

The site takes advantage of existing topography that may limit wheelchair access to all areas however ambulant disabled access can be provided using a shallow stepped approach to the main entrance.

6.0 Summary

The proposals are for the Change of Use of a redundant agricultural building to a dwelling which are considered to align with permitted development rights. This is considered further in the accompanying planning statement.

The buildings:

- are substantial and capable of conversion;
- they have an existing floor area of less than 450m²;
- they can be developed within the external dimensions of the existing building;
- they only require building works to windows, doors, roofing and external walls;
- they require the connection of services.

They will involve the removal of a large area and volume of dilapidated agricultural buildings that will improve the openness and enhance the appearance of the local countryside, when carried out in conjunction with the adjacent proposals.

MBooth Design