

Application Reference: 2025/1094

Site Address: 104 and 106 Huddersfield Road, Ingbirchworth, Barnsley, S36 7GF

Introduction:

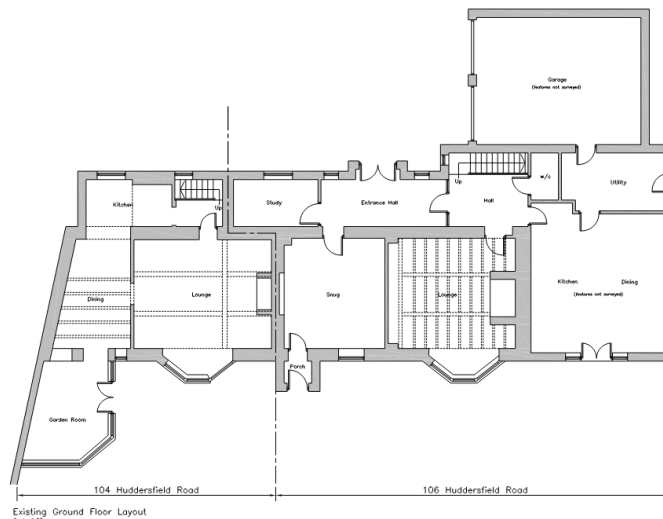
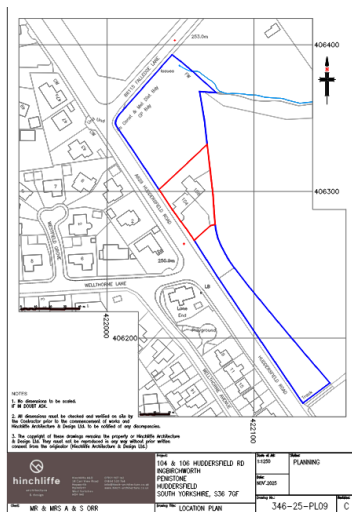
This application seeks full planning permission for the removal of rear garden room and porch, and erection of 2 storey and single storey rear extensions, 1st floor front extension, raising of roof, changes to windows, install of roof lights and relocation of party wall.

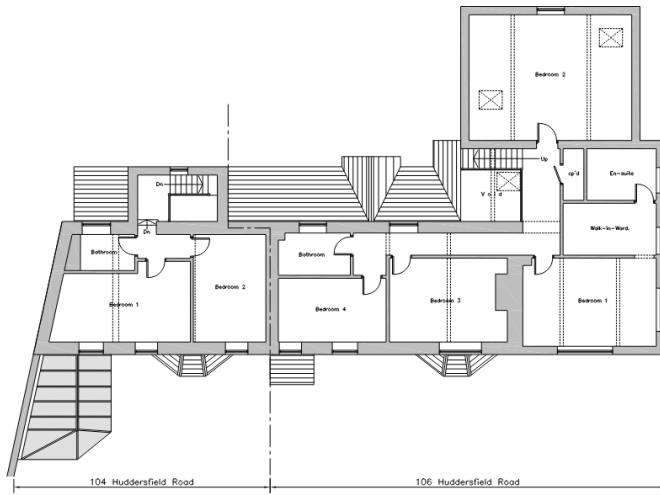
Relevant Site Characteristics

The site is located on Huddersfield Road in Ingbirchworth. The site is within a rural area and is located within the Green Belt. The site consists of two stand-alone semi-detached dwellings which are owned by generations of the same family. The properties although separate have historically been dealt with as a pair within planning applications, which is also the case within this application. The properties have been extended over the years on both the front, side, and rear elevations.

The properties are set within a large plot with an extensive shared garden area to both the front and rear of the properties. The properties are surrounded by open Green Belt to the north, east and south. To the west on the opposite side of Huddersfield Road is a housing estate. The properties are stone built with a pitched roof design, however due to the previous extensions they have varied roof heights. There is some render evident on the gable ends.

The properties are bound by a low rise stone wall along Huddersfield Road with vegetation and large gates located along the front and a wooden fence above providing privacy for the rear garden. It is noted that there are a number of trees located within the garden areas. There is an extensive gravelled area at the front of the property which is used for off street parking. No. 106 Huddersfield Road also has a large attached double garage providing over and above parking capacity.





Existing First Floor Layout
Scale 1:50



Existing North West Facing Front Elevation
Scale 1:50

LINE MARKS	
---	WALL, CONCRETE, CLAY
---	GLASS, GLAZING, CORRUGATED METAL
---	ROOF, CORRUGATED METAL, CORRUGATED SLATE
---	ROOF, CORRUGATED METAL, CORRUGATED SLATE
---	ROOF, CORRUGATED METAL, CORRUGATED SLATE
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---	ROOF, CORRUGATED METAL, CORRUGATED SLATE
---	ROOF, CORRUGATED METAL, CORRUGATED SLATE



Existing South West Facing Side Elevation
Scale 1:50



Existing South East Facing Rear Elevation
Scale 1:50

LINE MARKS	
---	WALL, CONCRETE, CLAY
---	GLASS, GLAZING, CORRUGATED METAL
---	ROOF, CORRUGATED METAL, CORRUGATED SLATE
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---	ROOF, CORRUGATED METAL, CORRUGATED SLATE
---	ROOF, CORRUGATED METAL, CORRUGATED SLATE



Existing North East Facing Side Elevation
Scale 1:50



Existing Site Plan
Scale 1:500

Site History

Application Reference	Description	Status (Approved/Refused)
B/78/0515/PR	Alterations and extension to dwellings	Approve with conditions
B/78/3050/PR	Alterations and extension to dwellings	Approve with conditions
B/93/1050/PR	Erection of conservatory extension to dwelling	Approve with conditions

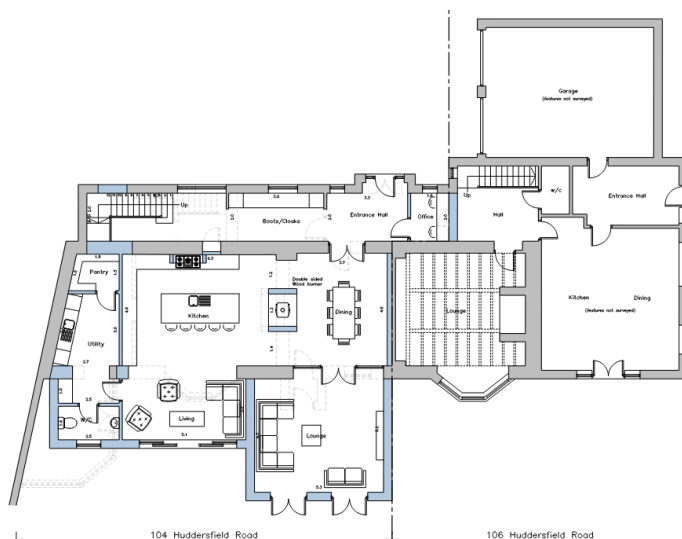
Detailed description of Proposed Works

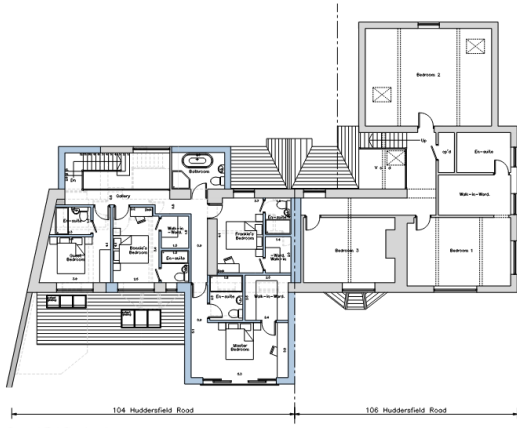
The proposal is to demolish the existing rear conservatory and porch and erect an L shaped single storey and two storey rear extension. The single storey element will project 2.85m and the two storey element will project 5m to the rear. This will provide a seated living area, lounge and w/c at ground floor level and a bedroom with en-suite at first floor level. This will extend the accommodation at 104 Huddersfield Road.

The application also proposes to erect a second storey extension above the existing on the front elevation which will provide upper floor accommodation within the roof space for a bathroom and room to accommodate a staircase. This will extend the accommodation at 104 Huddersfield Road.

The roof height of 104 Huddersfield Road is at a lower level to the adjoining property. This application proposes to raise the roof height of no. 104 in line with no.106.

The application also proposes changes to the internal layout of both properties with the amendment of the party walls to make 104 lager and reduce the size of 106 to accommodate this.



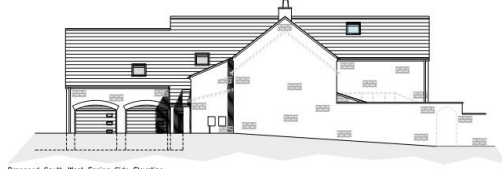


Proposed First Floor Layout
Scale: 1:50



Proposed North West Facing Front Elevation
Scale: 1:50

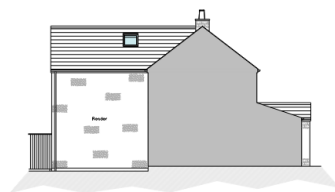
FINISH SCHEDULE	
WALLS	BRICK
ROOF	SLATE
FLOORING	WOOD
GLASS	GLASS
IRONWORK	BLACK PAINT
PAINTWORK	WHITE



Proposed South West Facing Side Elevation
Scale: 1:50



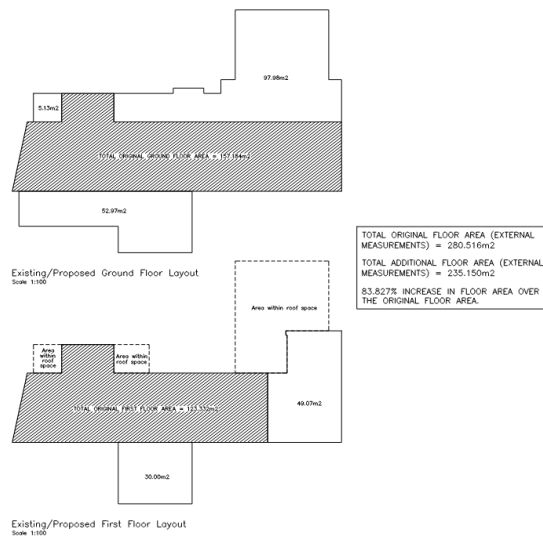
Proposed South East Facing Rear Elevation
Scale: 1:50



Proposed North East Facing Side Elevation
Scale: 1:50

FINISH SCHEDULE	
WALLS	BRICK
ROOF	SLATE
FLOORING	WOOD
GLASS	GLASS
IRONWORK	BLACK PAINT
PAINTWORK	WHITE





Relevant policies

The Development Plan

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires proposals to be determined in accordance with the development plan unless material considerations indicate otherwise. The development plan for Barnsley consists of the Barnsley Local Plan (adopted January 2019).

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027, or earlier, if circumstances require it.

The following Local Plan policies are relevant in this case:

- Policy SD1: Presumption in favour of Sustainable Development.
- Policy D1: High Quality Design and Place Making.
- Policy GD1: General Development.
- Policy T4: New Development and Transport Safety
- Policy BIO1: Biodiversity and Geodiversity
- Policy GB2: Replacement, extension, and alteration of existing buildings in the Green Belt
- Policy GB1: Protection of Green Belt
- Policy H9 Protection of Existing Larger Dwellings

National Planning Policy Framework (NPPF) and the National Planning Practice Guidance

In December 2024, The Government published a revised National Planning Policy Framework ("NPPF") which is the most recent revision of the original Framework, published first in 2012 and updated a number of times, providing the overarching planning framework for England. It sets out the Government's planning policies for England and how they are expected to be applied. The NPPF must be taken into account in the preparation of local and neighbourhood plans and is a material consideration in planning decisions. This revised document has replaced the earlier planning policy statements, planning policy guidance and various policy letters and circulars, which are now cancelled.

Central to the NPPF is a presumption in favour of sustainable development which is at the heart of the framework (paragraph 10) and plans and decisions should apply this presumption in favour of sustainable development (paragraph 11). The NPPF confirms that there are three dimensions to sustainable development: economic, social, and environmental; each of these aspects are mutually dependent. The most relevant sections are:

Paragraph 2 states that planning law requires applications for planning permission to be determined in accordance with the development plan unless material considerations indicate otherwise.

Section 2 - Achieving sustainable development.

Paragraph 7 states that the purpose of the planning system is to contribute to the achievement of sustainable development. At a very high level, the objective of sustainable development can be summarised as meeting the needs of the present without compromising the ability of future generations to meet their own needs.

Paragraph 8 provides three overarching objectives to sustainability, social, environmental, and economic. Paragraph 10 states to ensure that sustainable development is pursued in a positive way, at the heart of the Framework is a presumption in favour of sustainable development.

Section 4 - Decision making

Paragraph 48 affirms that planning law requires applications for planning permission to be determined in accordance with the development plan unless material considerations indicate otherwise. Decisions on applications should be made as quickly as possible, and within statutory timescales unless a longer period has been agreed by the applicant in writing.

Section 12 - Achieving well-designed places.

Paragraph 131 states that the creation of high quality, beautiful and sustainable buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities.

Paragraph 135 provides details to ensure that developments function well, are visually attractive, sympathetic to local character and optimise the potential of the site.

Paragraph 139 expresses that development that is not well designed should be refused, especially where it fails to reflect local design policies and government guidance on design, taking into account any local design guidance and supplementary planning documents such as design guides and codes.

Section 13 – Protecting Green Belt Land.

Paragraph 153 states that LPA's should ensure that substantial weight is given to any harm to the Green Belt, including harm to its openness (Other than in the case of development on previously developed land or grey belt land, where development is not inappropriate). Inappropriate development is, by definition, harmful to the Green Belt and should not be approved except in very special circumstances. 'Very special circumstances' will not exist unless the potential harm to the Green Belt by reason of inappropriateness, and any other harm resulting from the proposal, is clearly outweighed by other considerations.

Paragraph 154 states that development in the Green Belt is inappropriate unless the extension or alteration of a building provided that it does not result in disproportionate additions over and above the size of the original building.

The National Design Guidance (2019) is a material consideration and sets out ten characteristics of well-designed places based on planning policy expectations. A written ministerial statement states that local planning authorities should take it into account when taking decisions.

Supplementary Planning Guidance

In line with the Town and Country Planning (Local Planning) (England) Regulations 2012, Barnsley has adopted twenty eight Supplementary Planning Documents (SPDs) following the adoption of the Local Plan in January 2019. The most pertinent SPD's in this case are:

- House extensions and other domestic alterations
- Parking

The adopted SPDs should be treated as material considerations in decision making and are afforded full weight.

Consultations

The application has been advertised in accordance with Article 15 of the Town and Country Planning Development Management Procedure (England) Order 2015.

Any neighbour sharing a boundary with the site has been sent written notification and the application has been advertised on the Council website.

No representations have been received.

Gunthwaite and Ingbirchworth Parish Council – No objections.

Tree Officer – No objections subject to condition.

Planning Assessment

For the purposes of considering the balance in this application, the following planning weight is referred to in this report using the following scale:

- Substantial
- Considerable
- Significant
- Moderate
- Modest
- Limited
- Little or no

Principle

The Council will seek to ensure that development is appropriate to its context, and improves what needs improving, whilst protecting what is good about what we have. Policy GB1 of the Local Plan states that the Green Belt will be protected from inappropriate development in accordance with National Planning Policy.

The application is for the extension of an existing building within the Green Belt therefore GB2 is appropriate. Planning permission for extensions to existing buildings are acceptable provided they will not have a harmful impact on the appearance, or character and will preserve

the openness of the Green Belt. Extensions are acceptable if the extension or alteration of a building where the total size of the proposed and previous extensions does not exceed the size of the original building.

All such development will be expected to be of a high standard of design and respect the character of the existing building and its surroundings. Respect the character of the existing footprint, scale and massing, elevation design, and materials. The proposal should also have no adverse effect on the amenity of local residents, the visual amenity of the area, or highway safety.

Any development in the Green Belt must preserve the openness of the Green Belt and not conflict with the purposes of including land in Green Belt.

The existing floor space to take as original build is 280.516m²; any additional extensions must not exceed this amount by more than 100%. Rooms in the roof space are not counted towards the floor area.

The original property is 280.516m²

Proposed rear Extension	52.97m ²
Proposed front extensions	5.13m ²
Total additions old and new:	<u>235.150m²</u>
Allowance used:	83.827%

Part of the proposed front extension will be built within the existing roof space and therefore does not count towards the calculations of additional floor space.

The proposals would not result in disproportionate additions to the original property as demonstrated within the calculations above, therefore in principle the proposal is acceptable in terms of the impact to the surrounding Green Belt. Given the extensions already permitted, permitted development rights should be removed to ensure that any future extensions/outbuildings do not exceed the 100% limit set out within Policy GB2.

Scale, Design and Impact on the Character

Paragraph 131 of the NPPF states that good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities. Paragraph 135 emphasises that development should be visually attractive and sympathetic to the local character of the area.

Paragraph 139 expresses that development that is not well designed should be refused, especially where it fails to reflect local design policies and government guidance on design, taking into account any local design guidance and supplementary planning documents such as design guides and codes.

Local design guidance SPD: House Extensions indicates how important it is that any extension is designed to be in keeping with the host property and the character of the neighbourhood. The front elevation is most important as it plays an integral contribution to the street scene. A high standard of design is expected to ensure any front extension does not detract from the quality of the existing dwelling. The roof styling and pitch should match those of the existing dwelling, along with matching materials.

The proposed front extensions will be built above the existing and will follow the same roof style as the existing. The front extensions are proposed to accommodate a new staircase and

bathroom for 104 Huddersfield Road. The bathroom will be located within the existing roof with the staircase extended towards Huddersfield Road. A large arched window will replace the existing smaller arched window which will allow more light into the staircase. Although the proposed window is larger than the existing, it is not expected to compromise the existing design. Roof lights will also be installed, these are proposed to be small in size and located within the roof plane. The proposals will infill around the existing front extension and are not expected to detract away from the quality of the existing dwelling.

The overall roof height of 104 Huddersfield Road is at a lower level than the adjoining roof line of no. 106. This application proposes to raise the roof height of no. 104 in line with no. 106. As the properties presently have different roof heights the proposal to raise the roof of no. 104 will have a visual impact when viewed from the Huddersfield Road and the surrounding street scenes, however this is not expected to be visually detrimental. Therefore, the proposal to raise the roof is acceptable in terms of visual amenity.

The rear extension will provide an additional bedroom at first floor level and living accommodation on the ground floor for 104 Huddersfield Road. Although the proposal is larger than usually acceptable on semi-detached dwellings, due to the size and location of the properties the proposal is in proportion and is not expected to look out of place within this isolated setting. The materials will match the existing, and the roof has been designed to harmonise. Large sliding patio doors will be located at first floor level serving the bedroom, leading out onto a narrow glazed balcony and large arched windows will be located at ground floor level serving the lounge. The arched windows are designed similar to the arched window on the front tying the designs of the proposals together. When viewed amongst the large bay windows the proposed rear window arrangement is not expected to be a discordant feature within this setting.

The proposed materials and design when viewed in their entirety are not expected to be visually detrimental within the surroundings and as a result the proposal is in compliance with Local Plan Policy GD1 and House Extensions SPD.

Considerable weight has been given to the design and impact on the character of the area.

Impact on Neighbouring Amenity

The proposal is for a two storey front extension and a single storey and two storey rear extension to no.104 Huddersfield Road. The front extensions will provide a bathroom and staircase above the existing front projections. Due to the positioning of the extensions in relation to the existing they are not expected to cause any detrimental overshadowing or loss of residential amenity.

The rear extensions will provide a bedroom and en-suite on the first floor and living accommodation at ground floor level. SPD: House Extensions sets out the principles regarding acceptable sizes for rear extensions to protect the amenity of adjoining properties. In this case the properties are owned by the same family and are stand-alone dwellings therefore they will only impact each other. The proposed two storey element of the extension has a projection of 5m which far exceeds the limit set within the SPD for semi-detached dwellings, however, it notes that larger extensions are acceptable in certain circumstances.

The rear elevation of the properties faces southeast which will limit the amount of overshadowing the two storey extension will have on the adjoining property no.106 Huddersfield Road. It is acknowledged that there will be some overshadowing later in the day, however, no.106 has a large bay window at ground floor level adjacent to the extension and the upper window is set a reasonable distance away, minimising the overshadowing potential.

Given the individual situation regarding ownership, there is justification to allow the larger extension in this instance. Should the properties be sold to individual buyers in the future, the potential purchasers would be aware of the extension and be able to assess the impact before purchasing.

Policy H9 Protection of Existing Larger Dwellings states that the loss of larger family homes will be resisted. Currently, no.104 Huddersfield Road is the smaller of the properties with 2 bedrooms whilst no.106 Huddersfield Road is much larger with 4 large bedrooms. The internal layout of the properties are proposed to change due to the family dynamics. No.104 Huddersfield Road will use some of the adjoining internal accommodation to enlarge the living accommodation available within both the ground floor and the upper floor. This will result in the two properties being similar in size. This is not expected to have a detrimental impact, if anything the proposal will ensure each property is fit for purpose. The property at no.106 is currently a 4 bed property which is classed as a larger home which should be protected, however, this property will be reduced to a 3 bed dwelling and no.104 will increase from a 2 bed to a 4 bed property which will restore the balance of loss.

The application also proposes to raise the roof of no.104 in line with the adjoining property. The impact of this is minimal and not expected to result in any loss of residential amenity currently enjoyed. The application is therefore acceptable in terms of residential amenity in compliance with Local Plan Policy H9, GD1 and D1.

Significant weight has been given to the impact on residential amenity.

Highways

The proposal is located within the confines of the garden area. The site itself provides over and above the parking requirements for dwellings of this size by way of a double garage and a large parking court at the front of the property. The proposals will not impact the existing levels of off-street parking and therefore there will be no impact upon highway safety. As a result, the proposal is in compliance with Local Plan Policy T4 and SPD: Parking.

Moderate weight has been given to highway safety.

Trees

There are a number of trees located within the rear garden of both properties. One in particular was noted within falling distance of the proposed two storey element, and due to its size and location is significant within the wider street scene. For this reason, the tree officer was consulted. The tree officer has assessed the proposal in terms of impact to the nearby trees and is satisfied that the proposal will not be detrimental to the tree, however has asked for tree protection measures to be conditioned.

The proposal is not expected to negatively impact the nearby trees. The application is therefore acceptable in terms of biodiversity and the visual amenity of the locality in compliance with Local Plan Policy GD1 and BIO1.

Limited weight has been given to biodiversity.

Planning Balance and Conclusion

For the reasons given above, and taking all other matters into consideration, the proposal complies with the relevant plan policies and planning permission should be granted subject to necessary conditions. Under the provisions of the NPPF, the application is considered to be a sustainable form of development and is therefore recommended for approval.

RECOMMENDATION: Approve subject to conditions

Justification

STATEMENT OF COMPLIANCE WITH ARTICLE 35 OF THE TOWN AND COUNTRY DEVELOPMENT MANAGEMENT PROCEDURE ORDER 2015

It has not been necessary to make contact with the applicant to request amendments to the proposal during the consideration of the application, as it was deemed acceptable.

Due regard has been given to Article 8 and Protocol 1 of Article 1 of the European Convention for Human Rights Act 1998 when considering objections, the determination of the application and the resulting recommendation. it is considered that the recommendation will not interfere with the applicant's and/or any objector's right to respect for his private and family life, his home, and his correspondence.