

Application Reference: 2025/0984

Site Address: 75 Rockingham Street, Barnsley, S71 1JS

Introduction: Erection of a two storey side extension, including under build to rear and the creation of a new access including dropped kerb

Relevant Site Characteristics

The property is a semi-detached dwelling constructed from red brickwork and provides a tiled, pitched roof. The site has a substantial side garden located to the north of the dwelling. A driveway is also located to the north of the dwelling. A modest garden is located to the rear and a small hard landscaped area to the front of the dwelling. Large trees are located off site to the front of the dwelling. The site is positioned at a higher level than the properties to the east (rear) of the site

The surrounding area is characterised by a mixture of detached, semi-detached and terraced properties. Red brickwork is predominantly used in the area with some rendered features. Pitched and gable roofs are predominantly used with some gable features.

Planning History

Application Reference	Description	Status
2022/1059	Erection of two storey side extension, underbuild to rear and new access drive including dropped kerb	Approve with Conditions

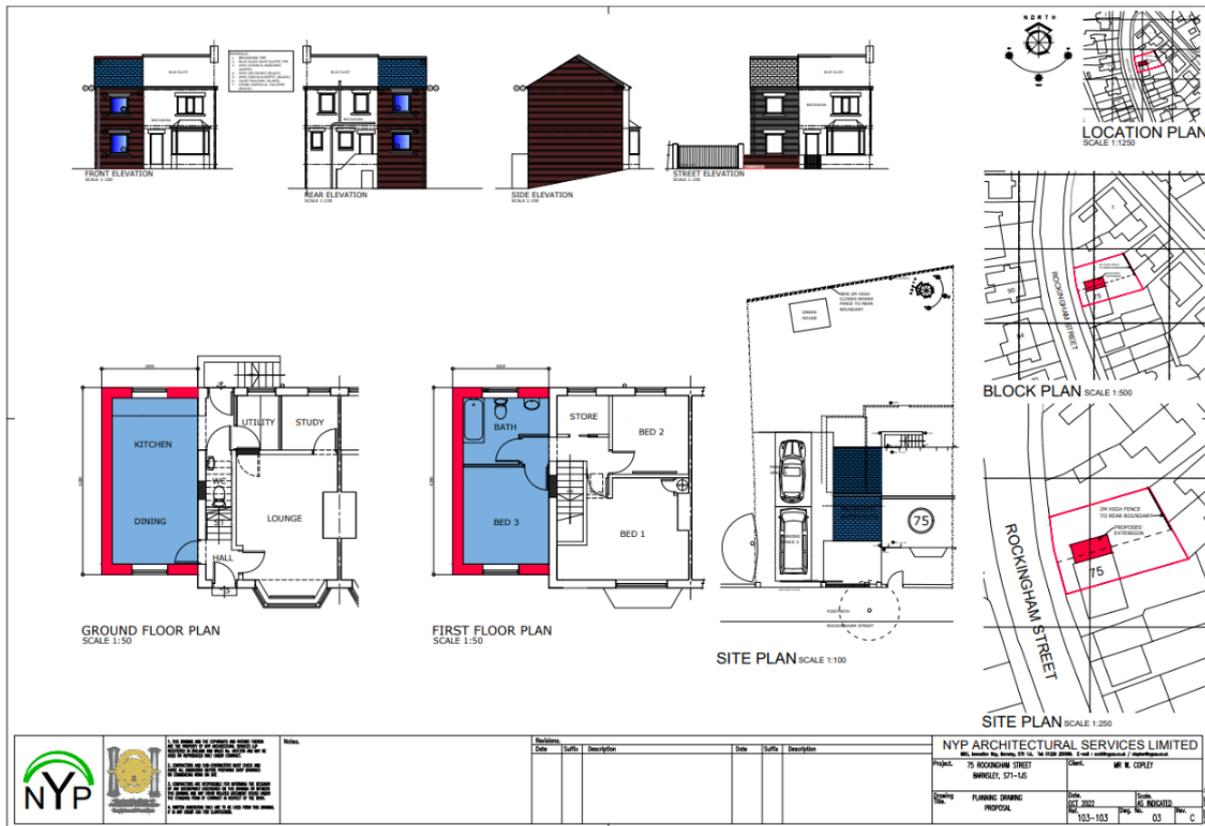
Detailed description of Proposed Works

The applicant is seeking permission to erect a two-storey side extension along with an under build to the rear elevation due to the topography of the site. A new access is also proposed along with a dropped kerb.

The side extension would have an approximate sideward projection of 3.2 metres and an approximate length of 6.3 metres. The extension details a pitched roof with an approximate front elevation eaves height of 5.4 metres and an approximate rear eaves height of 6.7 metres. The ridge would have an approximate height of 8.2 metres.

Glazing is detailed to the front elevation to service a dining room at ground floor level and a bedroom at first floor level. Glazing is detailed to the rear elevation to service a kitchen at ground floor level and a bathroom at first floor level. Matching brickwork and roof tiles to the existing dwelling have been proposed.

A newly formed driveway is detailed to the north of the proposed extension with an approximate length of 10 metres and an approximate width of 4.5 metres. A sliding gate is detailed to front the driveway, spanning approximately 4 metres and the existing driveway entrance is detailed to be replaced with a front wall with an approximate height of 0.9 metres and constructed from matching brickwork. A 2 metre high closed board fence is proposed to the rear boundary.



Relevant policies

The Development Plan

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires proposals to be determined in accordance with the development plan unless material considerations indicate otherwise. The development plan for Barnsley consists of the Barnsley Local Plan (adopted January 2019).

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027, or earlier, if circumstances require it.

The following Local Plan policies are relevant in this case:

- Policy SD1: Presumption in favour of Sustainable Development.
- Policy D1: High Quality Design and Place Making.
- Policy GD1: General Development.
- Policy T4: New Development and Transport Safety

National Planning Policy Framework (NPPF) and the National Planning Practice Guidance

In December 2024, The Government published a revised National Planning Policy Framework ("NPPF") which is the most recent revision of the original Framework, published first in 2012 and updated a number of times, providing the overarching planning framework

for England. It sets out the Government's planning policies for England and how they are expected to be applied. The NPPF must be taken into account in the preparation of local and neighbourhood plans, and is a material consideration in planning decisions. This revised document has replaced the earlier planning policy statements, planning policy guidance and various policy letters and circulars, which are now cancelled.

Central to the NPPF is a presumption in favour of sustainable development which is at the heart of the framework (paragraph 10) and plans and decisions should apply this presumption in favour of sustainable development (paragraph 11). The NPPF confirms that there are three dimensions to sustainable development: economic, social and environmental; each of these aspects are mutually dependent. The most relevant sections are:

Section 2 - Achieving sustainable development

Section 4 - Decision making

Section 12 - Achieving well-designed places

The National Design Guidance (2019) is a material consideration and sets out ten characteristics of well-designed places based on planning policy expectations. A written ministerial statement states that local planning authorities should take it into account when taking decisions.

Supplementary Planning Guidance

In line with the Town and Country Planning (Local Planning) (England) Regulations 2012, Barnsley has adopted twenty eight Supplementary Planning Documents (SPDs) following the adoption of the Local Plan in January 2019. The most pertinent SPD's in this case are:

- House extensions and other domestic alterations
- Parking
- Walls and Fences

The adopted SPDs should be treated as material considerations in decision making and are afforded full weight.

Consultations

The application has been advertised in accordance with Article 15 of the Town and Country Planning Development Management Procedure (England) Order 2015.

Any neighbour sharing a boundary with the site has been sent written notification and the application has been advertised on the Council website.

Highways – No Objection subject to conditions

Representations

One representation has been made making reference to the proposed extensions impact on the amount of natural light in their garden and increased viewpoints from the proposed rear elevation windows, reducing garden privacy.

Planning Assessment

For the purposes of considering the balance in this application, the following planning weight is referred to in this report using the following scale:

- Substantial
- Considerable
- Significant
- Moderate
- Modest
- Limited
- Little or no

Principle

The site falls within Urban Fabric where extensions and alterations to a domestic property are acceptable in principle provided that they remain subsidiary to the host dwelling, are of a scale and design which is appropriate to the host property and are not detrimental to the amenity afforded to adjacent properties.

Scale, Design and Impact on the Character

The Supplementary Planning Document for House Extensions states 'All two-storey side extensions should therefore have a pitched roof following the form of the existing roof. To prevent a terracing effect and to avoid detrimental changes to the character of the street scene, it will be desirable to provide a setback of at least 500mm from the main front wall of the dwelling. A setback from the front elevation allows for a vertical break in the roof plane and a lowering of the ridge line. In addition to the set-back from the front, where practicable, a side extension should also be set in by one metre from the side boundary with an adjacent property, to further avoid the terracing effect. This also gives the benefit of external access to the rear of the property. The sideways projection of a two storey side extension should not exceed more than two thirds the width of the original dwelling.'

The proposed side extension provides a sideways projection of 3.2 metres. Given the existing dwelling is approximately 4.7 metres in width, 3.1 metres would be the ideal sideways projection at two thirds the width of the original dwelling as outlined within the House Extensions SPD. The proposed projection therefore exceeds this width, however by a nominal 0.1 metres. Given the proposal only slightly exceeds the two thirds width and the application is a resubmission of a previously approved scheme, the proposed 3.2 metre width is considered acceptable on this occasion.

The proposal has been set down from the existing ridge line and set back from the front elevation of the existing dwelling. This allows the proposal to remain subordinate to the dwelling and prevents a terraced effect to the street scene.

The proposed glazing matches the existing dwellings fenestration along with matching lintels and cills. The use of matching materials is welcomed and allows the proposal to remain in keeping with the character of the site and street scene.

The proposed front wall has a modest height at approximately 0.9 metres and would be a matching continuation of the existing front wall. The proposed sliding gate would be located at a reduced height than the existing front wall it replaces and is therefore not considered to have any detrimental impact on the character of the street scene. The proposed rear fencing is detailed to be 2 metre in height and can therefore be erected under permitted development.

It is therefore considered that the proposed extension, driveway and wall is acceptable in terms of visual amenity and in compliance with Local Plan policy D1: High Quality Design and Place Making and as such carries considerable weight in favour of the application.

Impact on Neighbouring Amenity

The proposed side extension would not be impactful on the adjoining neighbour, given the proposal would be completely screened by the existing dwelling.

A neighbouring representation has been made objecting to the proposed extensions impact on the amount of natural light in their garden and increased viewpoints from the proposed rear elevation windows, reducing garden privacy.

The proposal would be to the south of 1 and 3 Stone Street, however, would not result in loss of light to a detrimental level, given the proposal is set down below the existing dwelling and would therefore not be any more impactful than the existing arrangement. Additionally, a substantial distance of 5.5 metres would be maintained between the proposal and the rear amenity space of these neighbours.

The proposal is also substantially screened by existing boundary treatment and trees, reducing the dominance of the proposal. No glazing is proposed to the side elevation, preventing any opportunity for overlooking to the north.

The proposal would be erected to the west of rear neighbours, resulting in any overshadowing occurring only in the late evenings. In any case the proposal is detailed at a reduced height than the existing dwelling and would have no greater impact on loss of light than the existing dwelling. It is acknowledged the dwelling and proposal is at an increased height than rear neighbours, however this is due to the topography of the site and the proposal would again be no more impactful than the existing dwelling. Glazing is proposed to the rear elevation of the extension, however the viewpoints created by the extension are at no greater elevation than the existing dwellings' glazing. Furthermore, the first floor window is proposed to service a bathroom and will therefore be conditioned to be obscured glazing in order to protect the privacy of both the applicant and neighbours. Additionally, 2 metre high fencing is proposed to the rear boundary of the site which will assist in screening the proposal from view.

It is therefore considered that the proposal would not result in a significant increase in overlooking, overshadowing or reduce levels of outlook to a detrimental level and is in compliance with Local Plan Policy GD1 General Development. This carries considerable weight in favour of the application.

Highways

The existing onsite parking facility is detailed to be replaced by the proposed side extension with a new driveway located to the north of the proposal. Although the proposal increases the number of bedrooms from 2 to 3, the site maintains an acceptable amount of parking facility, providing 2 parking spaces.

As such the proposal is considered acceptable in terms of its impact on highway safety and in compliance with Local Plan Policy T4 New Development and Transport Safety. This carries little to no weight in favour of the application.

Planning Balance and Conclusion

For the reasons given above, and taking all other matters into consideration, the proposal complies with the relevant plan policies and planning permission should be granted subject

to necessary conditions. Under the provisions of the NPPF, the application is considered to be a sustainable form of development and is therefore recommended for approval.

RECOMMENDATION: Approve subject to conditions

Justification

STATEMENT OF COMPLIANCE WITH ARTICLE 35 OF THE TOWN AND COUNTRY DEVELOPMENT MANAGEMENT PROCEDURE ORDER 2015

It has not been necessary to make contact with the applicant regarding any amendments to the proposal.

Due regard has been given to Article 8 and Protocol 1 of Article 1 of the European Convention for Human Rights Act 1998 when considering objections, the determination of the application and the resulting recommendation. It is considered that the recommendation will not interfere with the applicant's and/or any objector's right to respect for his private and family life, his home and his correspondence.