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**NOTES:**  
 All dimensions must be checked on site and not scaled from this drawing.  
 CONTRACTORS PLEASE NOTE:  
 The drawings are to be used in conjunction with any specifications, bills of quantities and related drawings. Any structural work must be carried out to the specification and requirements of the Structural Code of Practice for Buildings.  
 All structural work shall be inspected at all relevant stages by the Structural Engineer and approved in writing.  
 Any costs and claims for damage, loss of trade etc., incurred by falling to comply with the above, shall be the sole liability of the contractor.  
 Any variation to the above specification, should be reported to the designer prior to any work commencing.

**General:**  
 All work to be carried out strictly in accordance with current Building Regulations and British Standard Codes of Practice.  
 All new timber to be treated with recommended fungicide and insect repellent to satisfaction of Local Building Inspector.  
 No projections over boundary.  
 Foundations:  
 Foundations to be carried out in accordance with current Building Regulations and British Standard Codes of Practice.  
 Ground Floor to office and shower room :  
 200mm thick, flooring grade chibboard on 150 x 50mm s/w timber joists at 400mm centres, 150mm thick Kingspan K10 insulation provided between joists supported on chicken wire.  
 Ventilation to be maintained to existing floor. Ventilation to be maintained to existing floor. Sleeper wall as required min. 1500mm /m run of external wall. Sleeper wall as required min. 1500mm /m run of external wall.

Ground floor to kitchen sized on 100mm thick concrete slab on separating layer membrane ( min. 500g) on 100mm thick Kingspan K3 floor insulation on Visqueen 1200g dpm on 50mm thick sand bedding on 150mm thick well consolidated hardcore. External Walls:  
 100mm thick brickwork to match existing outer leaf to Local Building Inspector. 100mm thick Kingspan K108 wall insulation. 100mm thick brickwork inner leaf. Construction to give min. 0.19W/m<sup>2</sup> K. Stainless steel wall ties to be positioned at 450mm centres vertically and 750mm centres horizontally and at every block course at reveals.  
 Internal walls to be 100mm thick blockwork.  
 Roof:  
 Forticrete Centurion Roof tiles fixed to 38 x 25mm s/w battens to Manufacturers recommendations on Nilvent at 400mm centres. 100 x 75mm wallplate fixed to wall at 600mm centres.  
 150mm Rockwool insulation laid between joists.  
 150mm thick Rockwool insulation laid over joists.  
 12.5mm plasterboard to underside and skim finish.  
 All joints to have scrim tape.

**Lintels:**  
 Ceramic or equal approved galvanised steel lintels over door and window openings to Manufacturers recommendations.  
 Rainwater:  
 Rainwater goods to match existing.  
 Surface water to go to soakaway min 5m from building.  
**Glazing:**  
 Glazing within critical locations as defined in Building Regulations to be double glazed with a minimum of 300mm either side to be laminated or toughened glass to B.S. 6206 and suitably Kite Marked.  
 D.p.c.'s:  
 D.p.c.'s positioned min. 150mm above ground level. D.p.c. to be checked to all new window and external door openings. Where necessary may require over new lintels. Elastic painting to reveals.

**Ventilation**  
 Background ventilation to habitable room to be min. 8000mm<sup>2</sup>. (Include ventilators in window heads).  
 Windows to have opening lights min. 120th of floor area.  
 Draught proofing:  
 New drains to be verified clay pipes with approved flexible joints connected to existing system. Drains to be lined over where passing under walls and surrounded with pea gravel where passing close to building.  
**Roof:**  
 Every third joist to be tied down by stainless steel ties screwed to joists and plugged to wall min. 450mm down.

**General:**  
 All work to be carried out strictly in accordance with current Building Regulations and British Standard Codes of Practice.  
 All structural work shall be inspected at all relevant stages and approved in writing to satisfaction of Local Building Inspector.  
 No projections over boundary.  
 Lintels/ beams to have min 150mm end bearing.  
 Smoke detectors to be mains operated with battery backup.

Revisions	
A	Date

**M & J H Design**  
 Architectural Services

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 S73 8LB

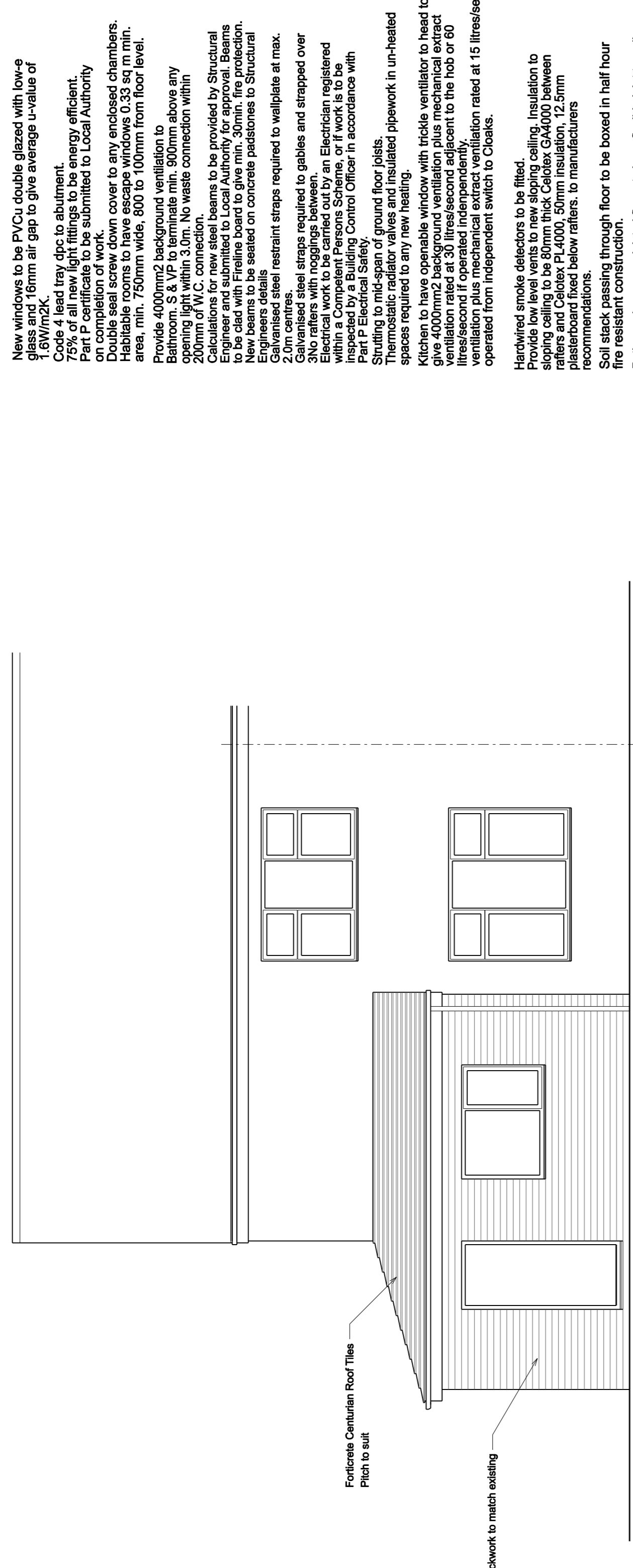
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**Client**  
 Mr & Mrs Owen

**Project**  
 Proposed Alterations  
 44 Barber Street  
 Hoyland  
 Barnsley  
 S74 9RB

**Title**  
 Tile

Proposed Plans and Elevations		
Scale	Date	Revision
1:50	Sept 2022	
Drawn by	JRH	
Drawing No.	1313-02	



New windows to be PVCu double glazed with low-e glass and 16mm air gap to give average U-value of 0.18W/m<sup>2</sup>K.  
 Code 4 lead tray dpc to abutment.  
 75% of all new light fittings to be energy efficient.  
 Part P certificate to be submitted to Local Authority.  
 Double seal screw down cover to any enclosed chambers.  
 Habitable rooms to have escape windows 0.33 sq m min. area, min. 750mm wide, 800 x 100mm from floor level.  
 Provide 4000mm<sup>2</sup> background ventilation to Bathroom, S & VP to terminate min. 900mm above any opening of W.C. connection.  
 Calculations for new steel beams to be provided by Structural Engineer and submitted to Local Authority for approval. Beams to be fixed to wall to give min. 100mm end bearing. New beams to be seated on concrete piers/bases to Structural Engineers details.  
 Galvanised steel restraint straps required to wallplate at max. 3N0 rafters with noggings between.  
 Electrical work to be carried out by an Electrician registered with the Electrical Contractors Association and inspected by a Building Control Officer in accordance with Part P Electrical Safety.  
 Strutting to mid-span of ground floor joists.  
 Sawn rafters to have vapour insulated pipework in un-heated spaces sealed to any new heating.  
 Kitchen to have operable window with trickle ventilator to head to give 4000mm<sup>2</sup> background ventilation plus mechanical extract ventilation rated at 30 litres/second sufficient to the hob or 60 litres/second if operated independently.  
 Operated from independent switch to Chooks.  
 Handwired smoke detectors to be fitted.  
 Provide low level vents to new sloping ceiling. Insulation to sloping ceiling to be 100mm. Ceiling cavity to be 12mm.  
 Waste pipes 50mm dia. Max length 4.0m. All to be fixed with 75mm deep seal traps.  
 Soil stack passing through floor to be boxed in half hour fire resistant construction.  
 Baths or showers on joisted floors to have flexible joint to wall.  
 Smoke detector to be provided and to be interlinked on separate circuit connected to consumer unit and battery backup.  
 Extract fans are to be provided:  
 Bathrooms - 15 litres/sec.  
 Kitchens - 60 litres/sec (30litres/sec if associated with a hob)  
 Double joists required under stud partitions.  
 100mm thick Gypcrete under studwork to give min. 172 J/m<sup>2</sup> fire protection. Fixed to manufacturers recommendations.  
 S & vp to terminate min 900mm above any opening within 200mm of wall.  
 No waste connections within 200mm of w.c. connection to s & vp.

