

2022/0968

Applicant: Mr J Featherstones

Agent: Mrs L Matic

Description: Extension to existing premises

Address: JSF Joinery, Phoenix Lane, Thurnscoe, Rotherham, S63 0BD

Description

The application site comprises JSF Joinery, an existing business sited to the southern side of Phoenix Lane. Both pedestrian and vehicular access to the site is via the sole entrance to the front of the site off Phoenix Lane.

There is a parcel of vacant land within the site which is proposed to be extended under this application.

Thurnscoe Business Park is adjacent to the site which is land allocated for employment uses in the Local Plan under site reference ES12. Phoenix Park is to the rear of the site which is a greenspace and within the Green Belt.



Location Plan.



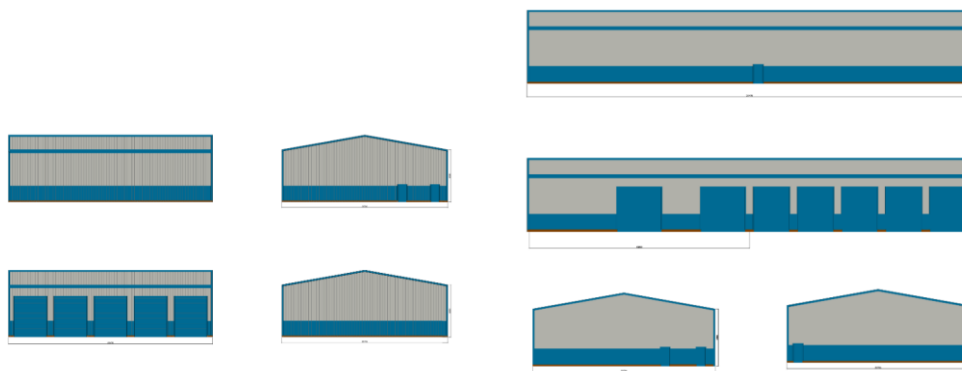
Site Photos

Proposed Development

The applicant seeks permission for the erection of an extension to the existing premises. The extension will double the current workshop facilities from 500sqm to 1000sqm.

The proposed building has been designed as a single span portal, with room to expand in length if future circumstances require it. The existing gable wall cladding and mid-posts will be removed and an additional five frames at 5000mm centres will be added. There will be no change to the design of the building and there is the intention to construct the building from matching materials and colour scheme.

The proposal does not seek to alter the access nor will trading hours nor office hours be changed.



Existing vs Proposed Elevations.

Planning History

No relevant history.

Policy Context

To the extent that development plan policies are material to an application for planning permission the decision on the application must be taken in accordance with the development plan unless there are material considerations that indicate otherwise (section 70(2) of the Town and Country Planning Act 1990 and section 38(6) of the Planning and Compulsory Purchase Act 2004).

The Local Plan was adopted by the Council in January 2019 and the Council has also adopted a series of Supplementary Planning Documents which are other material considerations. The National Planning Policy Framework represents up-to-date government planning policy and is a material consideration that must be taken into account where it is relevant to a planning application.

Local Plan

The site is allocated as Urban Fabric within the Local Plan Proposals Maps. The following policies are of relevance:

Policy GD1 General Development
Policy Poll1 Pollution Control and Protection

Policy D1 High Quality Design and Place Making
Policy SD1 Presumption in favour of Sustainable Development
Policy BIO1 Biodiversity and Geodiversity
Policy T3 New Development and Sustainable Travel
Policy T4 New Development and Highway Improvement
Policy CC3 Flood Risk

NPPF

The National Planning Policy Framework sets out the Government's planning policies for England and how these are expected to be applied.

At the heart is a presumption in favour of sustainable development. Development proposals that accord with the development plan should be approved unless material considerations indicate otherwise. Where there are no relevant development plan policies, or the policies which are most important for determining the application are out of date, unless the application of policies in the Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed or any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies of the Framework taken as a whole.

SPD's

Parking
Residential amenity and the siting of buildings

Consultations

Enterprising Barnsley- Actively support the application and are working with the applicant to create future employment opportunities as per the existing strategic economic and corporate plans.

Drainage- Details are sufficient and as such is happy for the details to be checked by building control.

Highways- Additional information received- proposed plans shows additional parking to be provided and as such the development is acceptable. Condition recommended regarding part of site for parking is to be surfaced in solid bound materials and the parking/manoeuvring facilities shall be made available prior to the development being brought into use.

Pollution Control- Recommend permission is granted subject to condition restricting hours of construction or remediation work.

Yorkshire Water- Recommend permission is granted subject to condition to protect the local aquatic environment and Yorkshire Water infrastructure.

Ward Councillors- No comment received.

Representations

Five neighbouring properties were consulted and a site notice was displayed on site. No representations have been received at the time of writing this report.

Assessment

Principle of development

The site is identified as being within Urban Fabric and as such has no specific allocation in the Local Plan. Development proposals will be assessed against all relevant policies in the Local Plan and Policy GD1 below will be applied to all development. An assessment of relevant criteria is as below.

Visual Amenity

The extension is of a high-quality design and would be constructed using matching materials and colour palette. Whilst this is a relatively large extension in terms of area, as it would double the size of the existing facility, the height of the building would not be raised and when viewed against the existing building, it appears proportionate in size and scale. It has been located on an area of land which is currently vacant and within the confines of the site. It is noted that whilst it would be visible from the highway, the existing building is visible and there are large buildings in the surrounding area and as such it is considered the extension would not only be in keeping with the existing building but the surrounding area. The design of the proposal is therefore acceptable and would be in keeping with the existing buildings in terms of scale and materials, in accordance with policy D1 of the Local Plan.

Residential Amenity

The existing business is within a mixed- use area with Thurnscoe business park adjacent to the site and areas of green space to the rear of the site. The immediate properties to the site are in commercial use. The nearest residential property to the site is 1 Lidget Lane at 101m. As such there would be no issues through an overbearing nature or an impact on privacy,

Pollution Control were consulted on the application and recommended approval of the application subject to a condition restricting hours of construction and remediation work to reduce or remove adverse impacts on health and the quality of life for people living/working nearby, in accordance with Local Plan Policy POLL1.

As such, the application is considered acceptable from a residential amenity point of view.

Highway safety

Initial concern was raised by the highways officer regarding insufficient parking for the expansion of the site. An amended parking plan was received that shows an additional bank of parking spaces is to be provided which takes the total provision up to an acceptable level.

The parking spaces do not hinder the access of Heavy Goods vehicles and sufficient turning and manoeuvring space is to be provided for 16.5m articulated vehicles.

The proposals are therefore considered acceptable from a highways development control perspective and as such approval with conditions regarding the parking being surfaced in a solid bound material and being made available prior to the development being brought into use is recommended, in the interests of highway safety and the free flow of traffic and in accordance with Local Plan Policy T4 New Development and Transport Safety.

Drainage

The Environment Agency map shows the site being within flood zone 1 and as such is at a low risk of flooding. The Council's drainage officer was consulted and was content that the details are sufficient and as such is happy for the details to be checked by building control.

Recommendation

Grant subject to conditions