



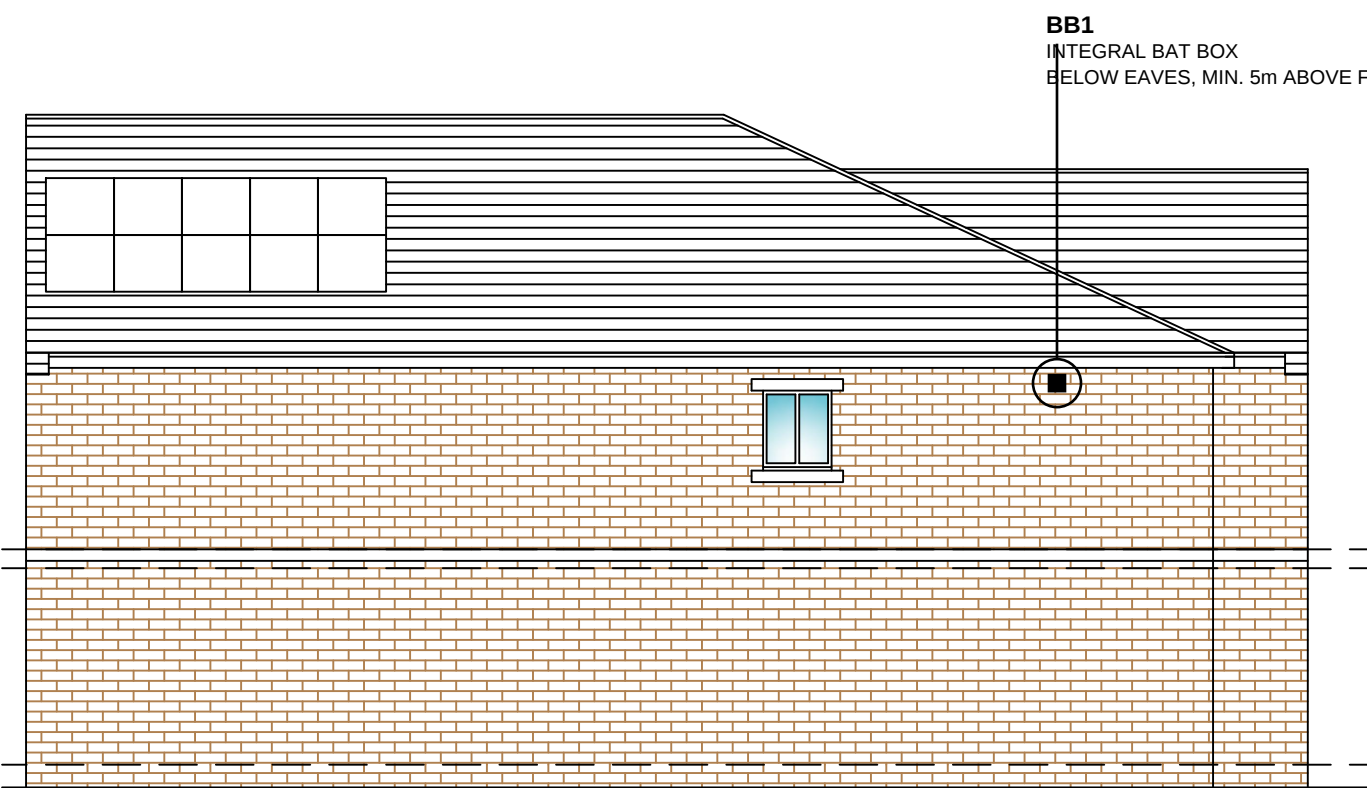
PROPOSED FRONT ELEVATION (SOUTH)
SCALE 1:100



PROPOSED REAR ELEVATION (NORTH)
SCALE 1:100



PROPOSED SIDE ELEVATION (EAST)
SCALE 1:100



PROPOSED SIDE ELEVATION (WEST)
SCALE 1:100

Drainage Strategy Note

The development shall be drained on separate foul and surface water systems.

Existing foul drainage from the site is shown by the red line on this drawing. Foul water from the proposed dwelling shall connect into the existing foul drainage arrangement serving the site, subject to final setting out, Building Regulations approval and any necessary Yorkshire Water consent.

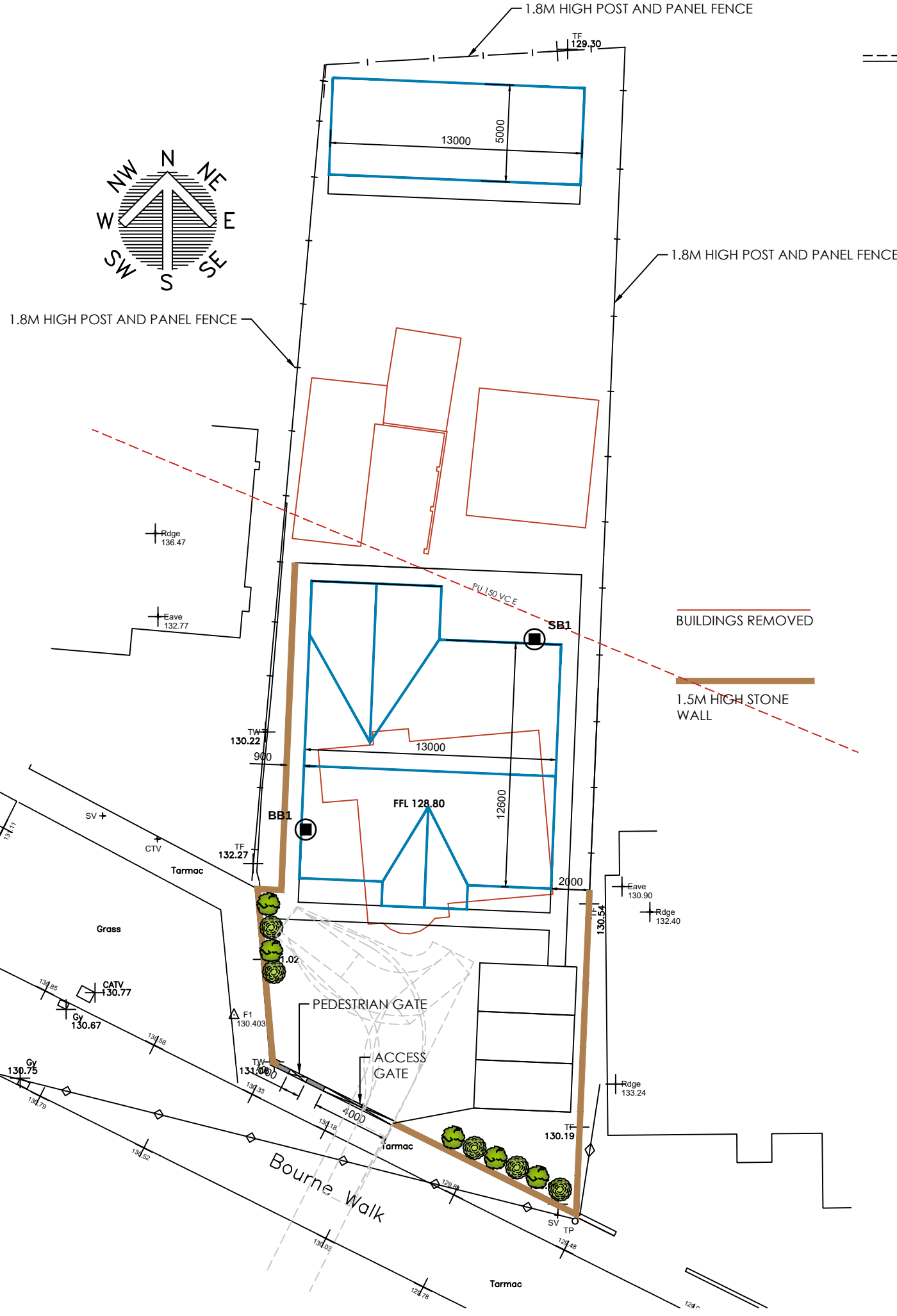
Surface water from the proposed dwelling roof and external impermeable areas shall not discharge to the public sewer. Surface water shall be collected via rainwater goods and private surface water drainage and discharged to a new on-site soakaway / infiltration drainage arrangement located within the curtilage of the property. The soakaway shall be designed and constructed in accordance with BRE Digest 365, Building Regulations Part H and the relevant SuDS hierarchy, with final size, location and construction details to be confirmed following ground investigation / infiltration testing.

The proposed drainage arrangement therefore retains foul water to the existing foul drainage system and disposes of rainwater/surface water by infiltration to ground, avoiding additional surface water discharge to the public sewer network.

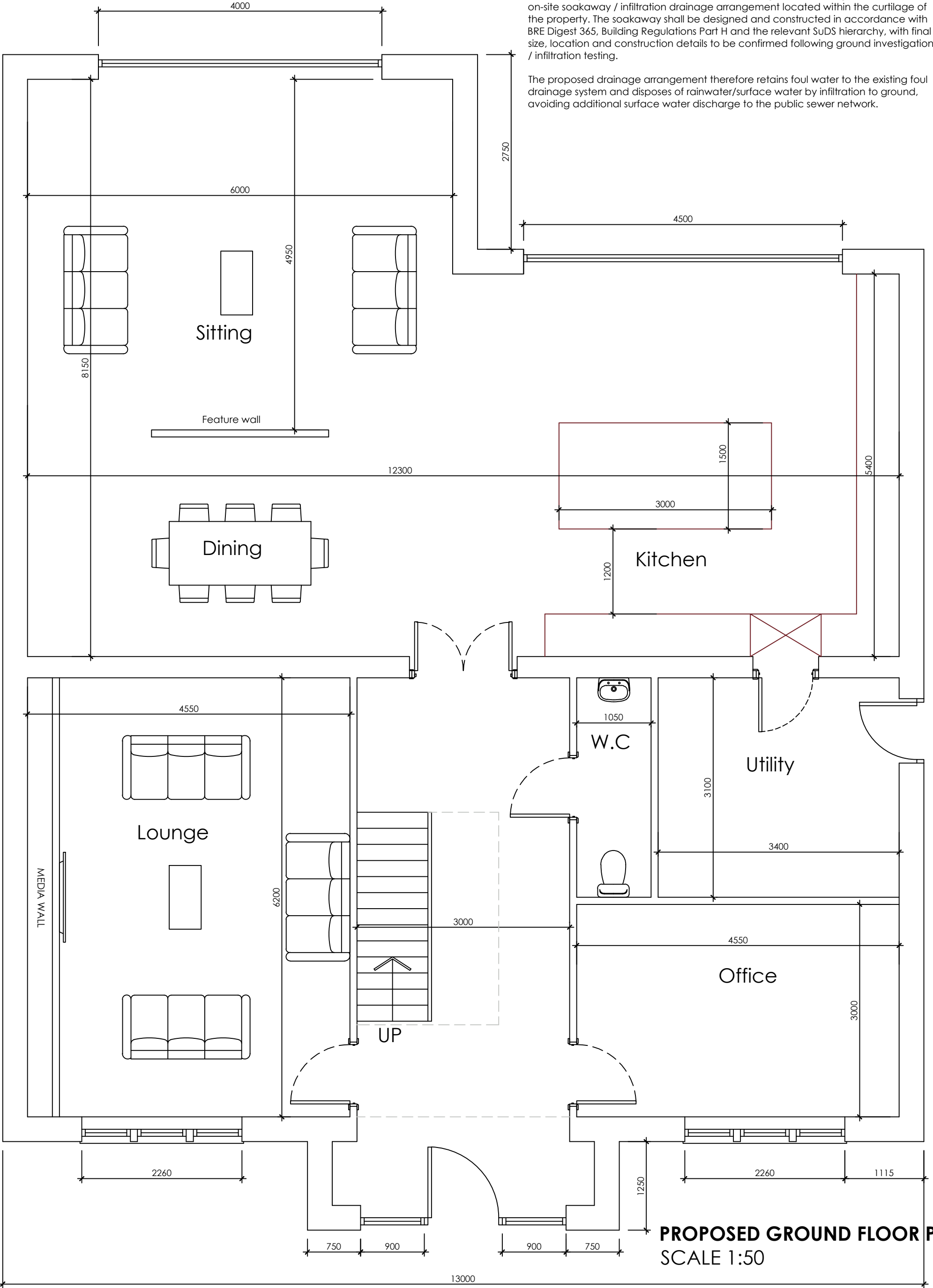
Biodiversity Enhancement Note
Integral bat and bird boxes to be provided in accordance with the recommendations of the Whitcher Wildlife Ltd Bat Dusk Emergence Survey Results (ref 260724, Revision One, para 4.3) and the Barnsley MBC Biodiversity and Goodversty SPD.
BB1 - 1 no. integral bat box (Habitat 001, Istock enclosed bat box or equivalent approved) built into the outer leaf of the west (side) elevation immediately below the eaves soffit, minimum 5m above FFL, towards the south end of the elevation and clear of the window, faced to match the external walling.
SB1 - 1 no. integral swift box (Manthorpe swift brick, Istock swift box or equivalent approved) built into the outer leaf of the rear (north) elevation immediately below the eaves soffit, minimum 5m above FFL, at the north-east corner on blank walling clear of window cills with an unobstructed flight path.
Boxes not to be positioned above windows, doors or cills. Boxes to be installed during construction of the external walls and retained thereafter.



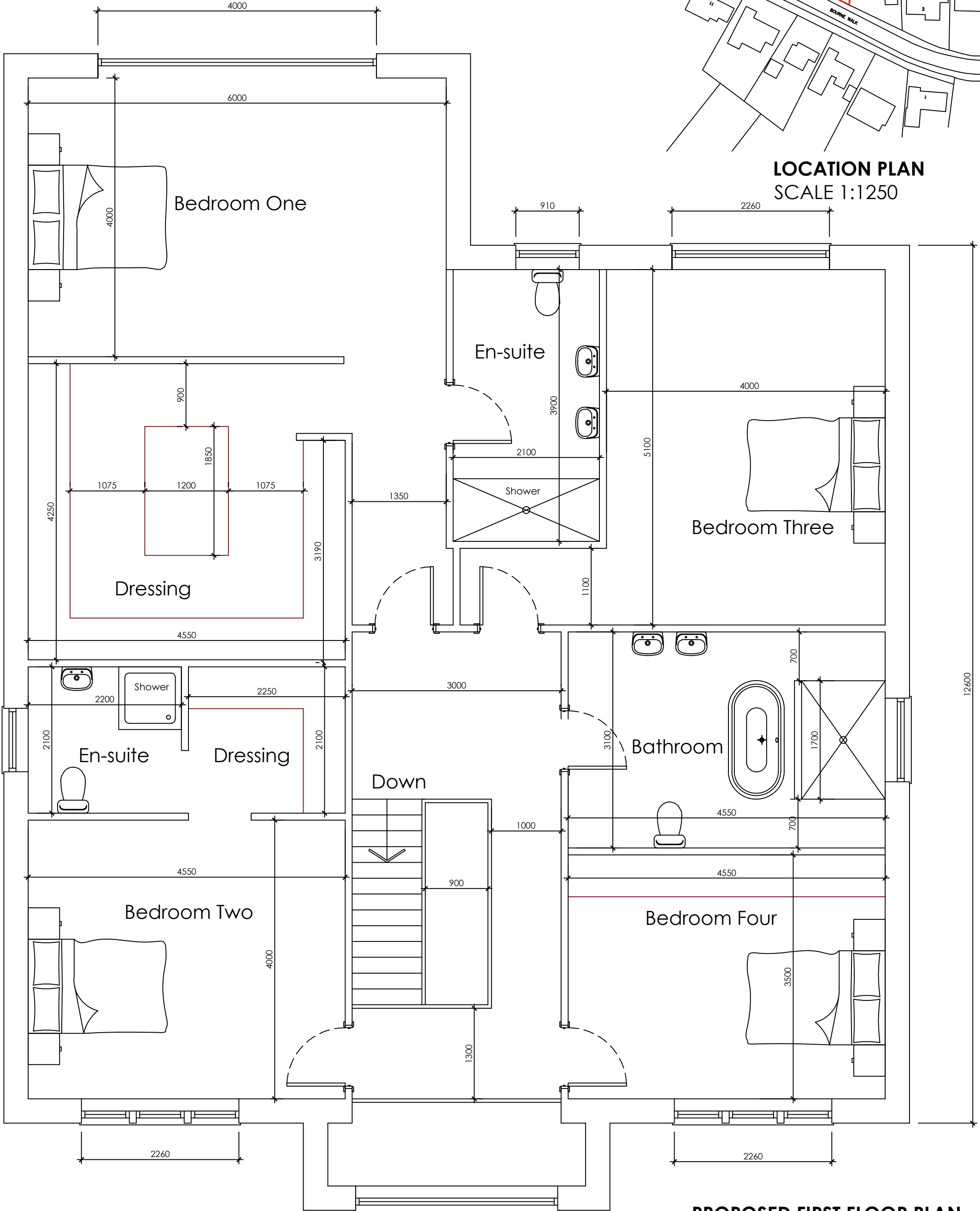
LOCATION PLAN
SCALE 1:1250



SITE PLAN
SCALE 1:250



PROPOSED GROUND FLOOR PLAN
SCALE 1:50



PROPOSED FIRST FLOOR PLAN
SCALE 1:50



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Project:
PROPOSED DWELLING AT
6 BOURNE WALK, STAINCROSS
BARNSELEY, S75 6JQ

Client:
CHRIS & BETH

Drawing
Title:
PLANS AND ELEVATIONS

Date:
JULY 2026
Ref:
25-161
Scale:
1:50 & 1:100 @ A1
Dwg. No.
03
Rev.
A

Date:
03/09/2026
Suffix:
A
Description:
SOLAR PANELS ADDED

Date:
Suffix:
Description: