
2024/0589

Applicant: Mr & Mrs Kennedy

Address: Greystones Bank End Lane, High Hoyland, Barnsley S75 4BE

Description: Raising of roof to create habitable area, a new dormer on the rear elevation, and new doors and windows to front of a single storey detached dwelling

Site & Location Description: Located at the junction of High Hoyland Land and Bank End Lane on the Outskirts of the small village of High Hoyland; the application dwelling is a circa late 1970's bungalow which appears to be constructed of stone, but may be a stone facia, and features a tiled, cross gable roof and an integrated garage. The curtilage of the dwelling is constructed on hill, which rises up from below Bank End Lane, this incline results in the dwelling being located within a prominent position with a varying ground level around the dwelling.



Planning History: None

Proposed: Due to complications with a nearby tree, the proposal has been revised from the original proposal which also included a proposed side extension. The proposal now is just for the raising of approximately half of the principal roof to create new living accommodation with the lofts space. Following a further amendment of plans to comply with local policy, two proposed new dormers on the front elevation were removed and incorporated as gables with windows instead. Two new roof lights are proposed as part of the development, one on each of the front and rear elevations. New windows and a door are also proposed on the front elevation, with replacement plain glazed windows indicated on the plans in instead of the current windows which feature a hatched design.

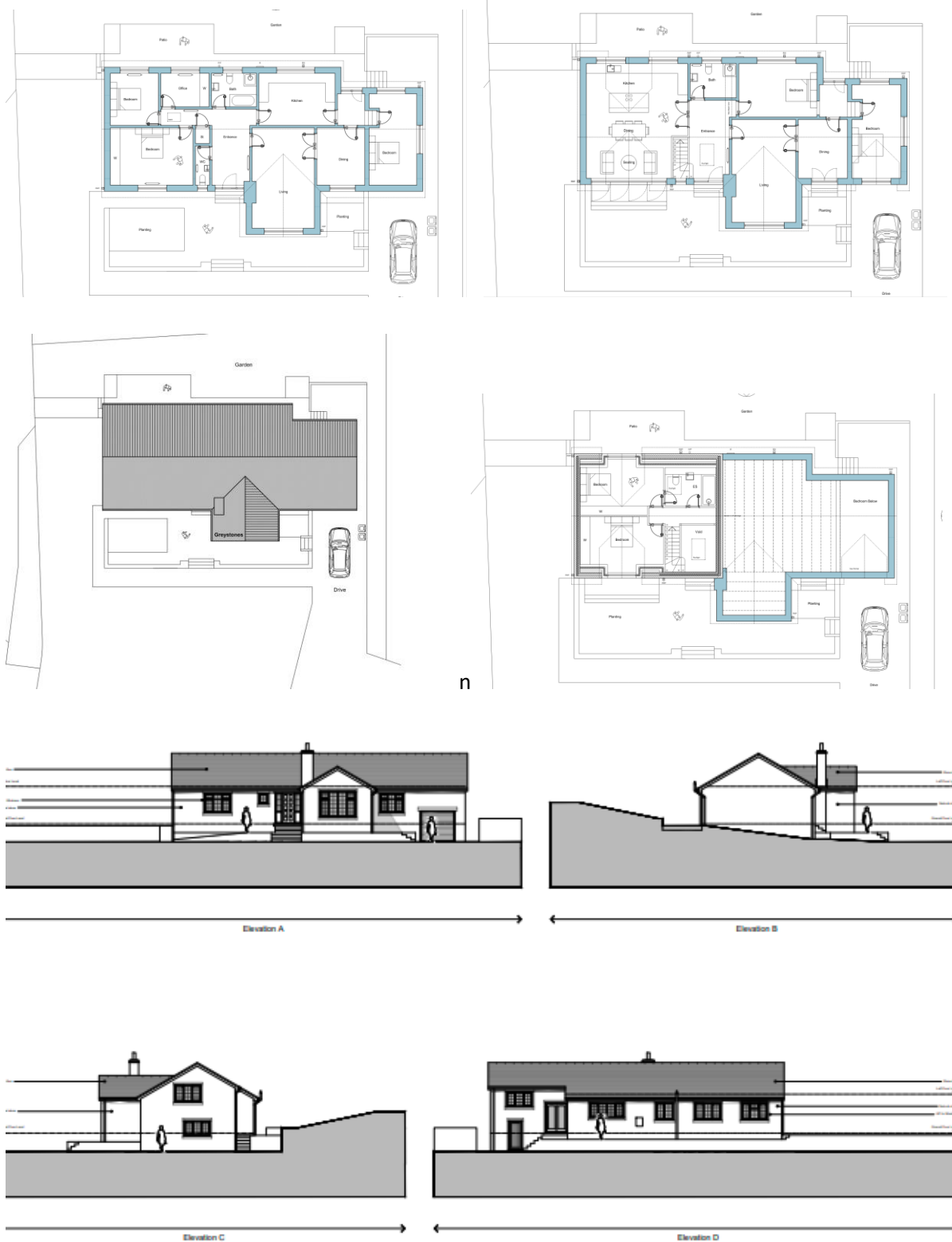
Approximate Measurements:

As the dwelling is situated on land with a varying ground level, the following measurements are taken from a similar location on the front (principle) elevation of the supplied plans and from the ground floor level indication (shown in brackets). Gable 2 is located within a section of the dwelling where the roof is unraised.

- **Existing Roof Height: 6.10m (4.86m)**
- **Existing Eaves Height: 3.5m (2.25m)**

- **Proposed Roof Height: 7.93m (6.15m)**
- **Proposed Eaves Height: 4.80 (3.52m)**
- **Proposed Gable 1 Height: 6.88 (5.64m)**
- **Proposed Gable 2 Height: 5m (3.72m)**

Existing and Proposed Floor Plans and Elevations





Local Plan Designation: Urban Fabric

Conservation Area: The site sits outside of but to the West of the Conservation Area

Neighbour Representations:

Letters were sent to nearby addresses; No comments were received.

Publicity: A site notice and press notice regarding the Public Right of Way was posted outside the address and published in the local newspaper respectively.

Consultees:

High Hoyland Parish Council: No comments or objections received.

Public Rights of Way (PROW): No objection or concerns subject to standard informative being added to any approval.

Forestry: Concern for an existing Oak tree near to the side elevation of the dwelling had the potential to cause issues and would require a tree survey to determine if the originally proposed side extension would be suitable to be constructed, and what mitigation or tree protection measures would be required. There was no concern about the proposed works to increase the height of the roof and proposed loft conversion. Following this consultation, the proposed side extension was removed from the proposal.

Policy Context

Planning decisions should be made in accordance with the development plan unless material considerations indicate otherwise and the NPPF does not change the statutory status of the development plan as the starting point for decision making. The Local Plan was adopted in January 2019 and is also now accompanied by seven masterplan frameworks which apply to the largest site

allocations (housing, employment, and mixed-use sites). In addition, the Council has adopted a series of Supplementary Planning Documents and Neighbourhood Plans which provide supporting guidance and specific local policies and are a material consideration in the decision-making process.

The Local Plan review was approved at the full Council meeting on 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027 or earlier if circumstances require it.

NPPF

Section 13. Protecting Green Belt land

The Government attaches great importance to Green Belts. The fundamental aim of Green Belt policy is to prevent urban sprawl by keeping land permanently open; the essential characteristics of Green Belts are their openness and their permanence.

Within section 13, from 'Proposals affecting the Green Belt' wording from paragraphs 153 and 154 are the most relevant which indicate: -

When considering any planning application, local planning authorities should ensure that substantial weight is given to any harm to the Green Belt. 'Very special circumstances' will not exist unless the potential harm to the Green Belt by reason of inappropriateness, and any other harm resulting from the proposal, is clearly outweighed by other considerations.

A local planning authority should regard the construction of new buildings as inappropriate in the Green Belt. Exceptions to this are:

c) the extension or alteration of a building provided that it does not result in disproportionate additions over and above the size of the original building

Local Plan

In reference to this application, the following Local Plan policies are relevant:

D1 - High Quality Design and Place Making: Development is expected to be of a high quality design and will be expected to respect, take advantage of and reinforce the distinctive, local character and other features of Barnsley.

GD1 - General Development – Development will be approved if there will be no significant adverse effect on the living conditions and residential amenity of existing and future residents.

GS2 - Green Ways and Public Rights of Way We will protect Green Ways and Public Rights of Way from development that may affect their character or function. Where development affects an existing Green Way or Public Right of Way it must:

Protect the existing route within the development;

or Include an equally convenient and attractive alternative route.

Where new development is close to a Green Way or Public Right of Way it may be required to: Provide a link to the existing route; and/or Improve an existing route; and/or Contribute to a new route.

SD1 - Presumption in favour of Sustainable Development: When considering development proposals we will take a positive approach that reflects the presumption in favour of sustainable development contained in the National Planning Policy Framework.

T4 – New Development & Highway Safety: New development will be expected to be designed and built to provide all transport users within and surrounding the development with safe, secure and convenient access and movement.

Supplementary Planning Documents (SPD)

House Extensions and Other Domestic Extensions

Principle of development

The site is located within land designated as Urban Fabric. Extensions to residential properties are considered acceptable where they do not have a detrimental impact on the amenity of surrounding residents, visual amenity and on highway safety.

Residential Amenity

Due to the semi-isolated location of the dwelling with the only neighbouring dwellings located at a single side of the dwelling and being adjacent to the section of roof being unaltered, there would be nothing more than insignificant amount of harm to the residential amenity of the neighbouring dwellings caused by the proposed loft conversion and partial heightening of the roof. Although two new bedrooms have been created within the loft, one bedroom is lost on the ground floor. This net increase of in bedrooms would allow the potential for more residents to live at the address but in addition to the semi isolated position; the impact including a potential increase in traffic flow along the access road, which runs adjacent the neighbouring dwelling should be minimal, and with over a 10m distance between the neighbouring dwelling and the access road, any noise increase should equally be minimal.

Visual Amenity

With the modern design of the dwelling, thought to be constructed in the late 1970's, and similar aged adjacent dwellings nearby; there would be no concern over the loss of historic character caused by the proposals, especially with the removal of the proposed dormers which assist in the dwelling not becoming significantly out of sync neighbouring dwellings, or those dwellings within the broader area.

The splitting of the roof of the bungalow and creating a two-tiered property is unusual and may not be acceptable in other streetscenes. However, the property sits outside of the conservation area and is not significantly visible from the Conservation area given the separation distance and existing buildings and vegetation.

Furthermore, the existing streetscene consists of individually designed dwellings and the immediately adjacent property is a split ridged bungalow with rooms in the roof space. There are also multiple level dwellings in the streetscene, as such, the proposal would not be an incongruous feature within the streetscene or be detrimental to the visual amenity of the area, in accordance with Local Plan policy D1.

Highway Safety

There are no proposed changes to access or parking arrangements, which consequently means there is no impact upon Highway Safety.

Recommendation: Approve with conditions