

Application reference number	2025/1040
-------------------------------------	-----------

Application Type	Full planning permission
-------------------------	--------------------------

Proposal Description:	Demolition of the existing bungalow to create additional car park spaces and school forest garden, including associated landscaping works
Location:	School Bungalow, Worsbrough Bank End Primary School, Underwood Avenue, Worsbrough Dale, Barnsley, S70 4AZ

Applicant	Mr Brian Been
------------------	---------------

Number of Third Party Reps	None	Parish:	n/a
		Ward:	Worsbrough Ward

SUMMARY

The proposal seeks full planning permission for the demolition of a vacant former caretaker's bungalow, the creation of five new car parking spaces and a school forest garden, with associated landscaping works.

The proposal is considered to be acceptable in policy terms being designated as Green Belt and greenspace within the Local Plan and being located in the grounds of an existing primary school. It is therefore considered to be an acceptable and sustainable form of development in line with paragraphs 7 and 8 of the National Planning Policy Framework (NPPF, 2024).

The report demonstrates that any harm generated by the proposal is outweighed by other material planning considerations. The development would not cause an unacceptable level of harm to neighbouring properties, the highway network, trees, ecology, the safety of proposed users of the forest garden, drainage considerations or the wider character of the area subject to suitably worded conditions.

Recommendation: **GRANT Planning Permission**

Introduction

- The proposal seeks full planning permission for the demolition of a vacant former caretaker's bungalow, the creation of five new car parking spaces and a school forest garden, with associated landscaping works.
- The site is designated as Green Belt and greenspace within the Local Plan
- The application has been amended to address concerns from the Ecologist and Forestry Officers.

Site Description

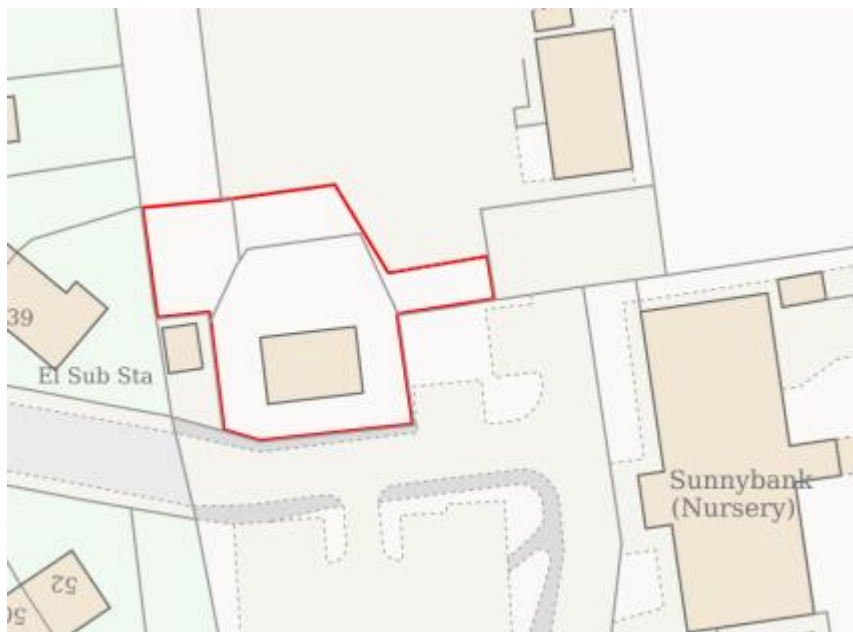
The application site includes the former caretaker's bungalow and garden in the grounds of an existing primary school and central family hub. There are semi-detached houses to the west, fronting onto both Wellington Crescent and Overdale Avenue (the access to the central family hub), partly separated from the application site by an electricity substation. The wider school site is bound by green palisade fencing, with some paladin fencing off the application site and existing shrubs/trees screening the application site from the adjacent dwellings.

Proposal

The planning application proposes to demolish the vacant former caretaker's bungalow, create five parking spaces and a school forest garden. The associated landscaping works include planting native hedgerows, 18 trees (a mixture of native and ornamental) and many shrubs. Four trees will be removed to allow the works to take place. A palisade fence is proposed on the southern side of the forest garden (including on the west boundary with residential neighbours).

The application is supported by an amended preliminary ecological assessment, a bat survey results report and a biodiversity impact assessment report and associated statutory biodiversity metric and condition assessment; and also by a drainage strategy plan, an arboricultural impact assessment and a construction method statement.

Location plan



Relevant Site History

Application Reference	Application description	Status
Historic applications for mobile classrooms and shutters associated with the school		

Policy Context

Planning decisions should be made in accordance with the current development plan policies unless material considerations indicate otherwise; the National Planning Policy Framework (NPPF) does not change the statutory status of the development plan as the starting point for decision making.

The Local Plan was adopted in January 2019 and is accompanied by seven masterplan frameworks which apply to the largest site allocations (housing, employment, and mixed-use sites). In addition, the Council has adopted a series of Supplementary Planning Documents and Neighbourhood Plans which provide supporting guidance and specific local policies which are a material consideration in the decision-making process.

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027, or earlier, if circumstances require it.

Local Plan

The site is identified as Green Belt and Greenspace within the Local Plan and as such the following policies are considered to be relevant to this application:

- Policy SD1: Presumption in Favour of Sustainable Development
- Policy GD1: General Development
- Policy D1: High Quality Design and Place Making
- Policy T3: New Development and Sustainable Travel
- Policy D1: High Quality Design and Place Making
- Policy GS1: Greenspace
- Policy BIO1: Biodiversity and Geodiversity
- Policy GB1: Protection of the Green Belt.
- Policy CL1: Contaminated and Unstable Land
- Policy POLL1: Pollution Control and Protection
- Policy I2: Education Facilities

Adopted Supplementary Planning Documents relevant to this application:

Biodiversity and Geodiversity
Parking

NPPF

The National Planning Policy Framework sets out the Government's planning policies for England and how these are expected to be applied. At the heart is a presumption in favour of sustainable development. Development proposals that accord with the development plan

should be approved unless material considerations indicate otherwise. NPPF policy of relevance to this application includes:

Paragraph 100 - Local planning authorities should give great weight to the need to create, expand or alter early years, schools and post-16 facilities through the preparation of plans and decisions on applications.

Paragraph 116 - Development should only be prevented or refused on highways grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe.

Paragraph 153 When considering any planning application, local planning authorities should ensure that substantial weight is given to any harm to the Green Belt, including harm to its openness. Inappropriate development is, by definition, harmful to the Green Belt and should not be approved except in very special circumstances

Paragraph 154 Development in the Green Belt is inappropriate unless one of the following exceptions applies (including)

- Limited infilling, partial or complete redevelopment of previously developed land, which would not cause substantial harm to the openness of the Green Belt.

Paragraph 187 - Planning policies and decisions should contribute to and enhance the natural and local environment including by (amongst other things) providing net gains for biodiversity including by incorporating features which support priority or threatened species such as swifts, bats and hedgehogs.

Paragraph 198 - Planning decisions should ensure that new development is appropriate for its location taking into account the likely effects of pollution on health, living conditions and the natural environment.

Relevant Consultations:

Biodiversity- Initial comments requested amendments to the submitted Preliminary Ecological Appraisal; confirmed that the submitted bat surveys demonstrated the likely absence of roosting bats; and that biodiversity net gain would be achieved on site through the proposals for a school garden comprising areas of grassland, shrubs and native tree planting. To secure the proposed planting, a planning condition for a five year Biodiversity Enhancement Management Plan is recommended.

- In response to reconsultation on an updated PEA, confirmed no objection subject to conditions and informatives.

Highways DC – Initial comments - no objection subject to a Construction Method Statement condition and an informative relating to the proposed demolition.

- In response to the submission of a Construction Method Statement, advised that it is satisfactory, and confirmed no objection subject to an informative.

Highway Drainage – no objections

Forestry Officer – initial comments recommended deferral for the submission of details of tree retention and removal.

- In response to reconsultation on an arboricultural impact assessment, confirmed no objection to the proposal subject to conditions

Pollution control – no objections subject to conditions.

Yorkshire Water – no objections subject to condition

Ward Councillors – no comments received

Representations

Neighbour notification letters were sent to seven surrounding properties, and a site notice was placed nearby giving a final date for comments of 10 January. No comments were received.

Assessment

The main issues for consideration are as follows:

- The acceptability of the development in principle
- The impact on neighbouring residential properties
- The impact on the existing trees
- The impact on the ecology of the site
- The impact on the character of the area
- The impact on highway safety
- The impact on contamination of the land
- The impact on greenspace
- Drainage issues.

For the purposes of considering the balance in this application the following planning weight is referred to in this report using the following scale unless the NPPF establishes a specific weight:

- Substantial
- Considerable
- Significant
- Moderate
- Modest
- Limited
- Little or no

Principle of development

The proposal is for the demolition of an existing caretaker's bungalow and creation of parking spaces and a forest garden, in the grounds of an existing primary school and family hub. The site is located in Green Belt where national planning policy indicates that redevelopment of previously development land which would not cause substantial harm to the openness of the Green Belt is not inappropriate. It is considered that the development is in accordance with this provision and is acceptable in principle.

Residential Amenity

The caretaker's bungalow is adjacent to semi-detached houses fronting onto Wellington Crescent and Overdale Avenue. Taking into account the existing electricity substation sited between the application site and the existing dwellings, and the trees and shrubs on the boundary, it is considered that the proposed school forest garden and parking spaces will not have a significant adverse impact on existing residents. This reflects advice from Pollution Control that the proposal is at low risk of having an adverse effect on the health and quality of life of those living and/or working in the locality. It is concluded that the proposal is in compliance with Local Plan policy GD1 which seeks to ensure that new

development will not cause a significant adverse effect on the living conditions and residential amenity of existing and future residents. Limited weight in favour of the proposal is given to this material consideration.

Impact on Trees

The application is supported by a tree survey schedule, tree constraints plan and Arboricultural Impact Assessment. The AIA concludes that four trees are required for removal and recommends tree protection for the remaining trees. The Forestry Officer has noted the significant levels of replacement planting in the proposed landscaping plan and recommends that the proposed tree removal is acceptable subject to conditions that the AIA and the landscaping scheme are implemented. Subject to these conditions, it is concluded that the proposal does not conflict with Local Plan policy BIO1 in respect of the impact on trees on the site and limited weight attaches to the proposal in respect of this material consideration.

Impact on Geodiversity and Biodiversity

The application is supported by an amended Preliminary Ecological Appraisal (PEA) and the statutory Biodiversity reports. These demonstrate that the proposal will secure in excess of 20% biodiversity net gain. The Council's Ecologist has advised that they have no objections subject to conditions to secure a biodiversity enhancement management plan, completion of the development in line with the recommendations in the PEA, and a Biodiversity Gain Plan condition and associated informatives. Accordingly, it is considered that subject to the recommended conditions, the proposal is in compliance with national and local biodiversity policy and substantial weight is given to this material consideration.

Visual amenity

The proposals involve the removal of the vacant former caretaker's bungalow, the creation of five parking spaces and a school forest garden. The proposed external works are considered acceptable and appropriate in the context of the existing school and family hub, and the proposed landscaping will have a significantly beneficial impact. The proposal is considered to be in compliance with Local Plan policy D1 and moderate weight is given to this material consideration.

Highway Safety

The application proposes the creation of five parking spaces to be accessed off the internal access road that serves Worsbrough Central Family Hub. Reflecting the advice of the Council's Highway Engineer who has advised that there are no highway safety objections to the proposal, the submitted construction method statement is satisfactory and recommended only an informative relating to demolition. It is recommended that a condition requiring the approved construction method statement to be implemented and subject to this, it is concluded that the proposal does not conflict with Local Plan policy TC4 and limited weight attaches to the proposal in respect of this material consideration.

Contamination

The proposal is supported by ground investigation reports which indicate that the risk that on-site contaminants present to human health is moderate. Accordingly, Pollution Control officers recommend that remedial works are required. Subject to a condition to require the submitted remediation strategy to be implemented before the use commences, it is concluded that the proposal does not conflict with Local Plan policy CL1 in respect of the

impact on site contamination and limited weight attaches to the proposal in respect of this material consideration.

Greenspace

The proposal involves limited incursion into areas of green space within the site for the provision of additional parking spaces. Local Plan policy GS1 indicates that proposals that will result in the loss of green space will not normally be allowed. In this instance it is considered that the loss is minimal in the context of the remaining green space at the school and family hub, and that the biodiversity improvements that will be secured will improve the quality of the remaining green space. It is concluded that the proposal does not conflict with the Local Plan policy and limited weight attaches to the proposal in respect of this material consideration.

Drainage

The application is supported by a Drainage Strategy. Yorkshire Water confirm that this requires amendments, primarily to address the drainage hierarchy and justify the proposed discharge of surface water to the public sewer and a condition and informative are recommended accordingly. The applicant's drainage engineer has confirmed agreement to the recommended condition.

PLANNING BALANCE & CONCLUSION

In accordance with Paragraph 11 of the NPPF the proposal is considered in the context of the presumption in favour of sustainable development. The proposal is considered to be located within a sustainable location on a site suitable for the creation of parking spaces and a school forest garden and this is given great weight in favour of the application.

In addition, substantial weight attaches to the provision of biodiversity enhancements in compliance with local planning policy. Moderate weight attaches to the impact on visual amenity. Limited weight is given to the acceptable relationship with local residents, site contamination, highway safety, greenspace and tree issues.

Having balanced all material planning considerations, whilst objections have been received in respect to the proposal they have been suitably addressed through the information supplied and further amendments to the scheme. As a consequence, the positive aspects of the proposal outlined above are not outweighed by any other material planning considerations.

The proposal is therefore, on balance, recommended for approval

RECOMMENDATION

GRANT PLANNING PERMISSION FOR THE PROPOSED DEVELOPMENT SUBJECT TO THE CONDITIONS AND INFORMATIVES BELOW

CONDITIONS/REASONS

01. Standard time limit condition
02. The development hereby approved shall be carried out strictly in accordance with the amended plans and specifications as approved unless required by any other conditions in this permission:
Drainage and Driveway Construction Details drawing number 25135-BGC-PL/321

Drainage Strategy Plan drawing number 25135-BGC-PL-01
Drive Swept Path Analysis – Private Car drawing number 25135-BGC-PL-DSP01
External Levels and Features Plan drawing number 25135-BGC-PL-101A
Location Plan
Private Kerbing and Surface Finishes Plan drawing number 25135-BGC-PL-131
Soft Landscaping Proposals drawing number BG25.237-BRGR-ZZ-ZZ-DR-L-00001
Topographical Survey drawing number 673138-1
Tree Constraints Plan drawing number BG25.237-BRGR-ZZ-ZZ-DR-L-00001
Volumetric Cut and Fill Analysis Plan drawing number 25135-BGC-PL-901 A

REASON: In the interests of the visual amenities of the locality and in accordance with Local Plan Policy D1 High Quality Design and Place Making.

03. The approved Construction Method Statement shall be adhered to throughout the construction period.

Reason: In the interests of highway safety

04. The use hereby permitted shall not commence before the remediation strategy detailed in report “Phase 2 Ground Investigation Report” produced by Arena Geo, dated June 2025, ref: 251012/2 has been implemented and the required works carried out and a verification report, confirming that all the required remediation works have been carried out, has been submitted to and approved in writing by the Local Planning Authority.

Reason: To reduce or remove adverse impacts on health and quality of life, especially for people living and/or working nearby, in accordance with Local Plan Policy POLL1

05. During excavation works, should unanticipated deposits of made ground be encountered, or visual/olfactory evidence of contamination be observed, works shall be ceased and a further assessment of contamination be undertaken. Following the assessment a report shall be submitted to the Local Planning Authority detailing any additional remediation required. These remedial works must be carried out prior to occupation of the development.

Reason: To reduce or remove adverse impacts on health and quality of life, especially for people living and/or working nearby, in accordance with Local Plan Policy POLL1

06. During works, construction or demolition related activity shall only take place onsite between the hours of 0800 to 1800 Monday to Friday and 0900 to 1400 on Saturdays and at no time on Sundays or Bank Holidays

Reason: To reduce or remove adverse impacts on health and quality of life, especially for people living and/or working nearby, in accordance with Local Plan Policy POLL1

07. There shall be no burning of any material on the development site during the demolition and construction phases.

Reason: To reduce or remove adverse impacts on health and quality of life, especially for people living and/or working nearby, in accordance with Local Plan Policy POLL1

08. The Biodiversity Gain Plan shall be prepared in accordance with the submitted Biodiversity Net Gain Assessment (dated 25 April 2025) and the Statutory Metric (dated 11 November 2025) completed in support of the application by Emily Murchison.

Reason: In the interests of clarification and to help deliver a biodiversity net gain on site in accordance with Schedule 7a of the Town and Country Planning Act 1990

09. A Biodiversity Enhancement Management Plan (BEMP), completed by a suitably qualified ecologist will be submitted to the Local Planning Authority prior to the commencement of works on site. The BEMP shall include, but not necessarily be limited to, the following:

- A recent landscape plan detailing the location of proposed habitat creation, retention and enhancement;
- Management aims and prescriptions detailing the methods required to create, retain and/or enhance each habitat at the required quality for a period of five years;
- A timetable of delivery for each habitat;
- A schedule of actions to be undertaken in case signs of failing are identified. The schedules must include details of technique(s) to be used, equipment to be used, roles and relevant expertise of personnel and organisations involved and timing of actions including submission of monitoring report to the local planning authority.
- Incorporation of faunal features for example integral bat and bird boxes on proposed buildings and trees, hedgehog access points within proposed fencing and herptile features etc. should also be detailed.

REASON: To ensure the development delivers biodiversity mitigation and enhancement on site in accordance with Local Plan Policy BIO1.

10. The development shall be completed in line with the recommendations in the Preliminary Ecological Appraisal (REV2, January 2026) and Bat Survey Results report (ref: 250764, 22nd August 2025) and the conditions of the planning permission. All the recommendations shall be implemented in full.

Reason: To conserve and enhance biodiversity in accordance with Local Plan Policy Biodiversity and Geodiversity BIO1.

11. The development shall be completed in line with the recommendations in the Arboricultural Impact Assessment (December 2025)

Reason: In the interests of good arboricultural practice and compliance with Local Plan Policy BIO1 Biodiversity and Geodiversity.

12. There shall be no piped discharge of surface water from the development prior to the completion of surface water drainage works, details of which will have been submitted to and approved by the Local Planning Authority. If discharge to public sewer is proposed, the information shall include, but not be exclusive to:

i) evidence that other means of surface water drainage have been properly considered and why they have been discounted; and

ii) the means of discharging to the public sewer network at a rate to be agreed by the statutory sewerage undertaker.

Reason: To ensure that no surface water discharges take place until proper provision has been made for its disposal

INFORMATIVES

The General Biodiversity Gain Condition

The Town and Country Planning Act has been amended to make every grant of planning permission deemed to have been granted subject to the following General Biodiversity Gain Condition:

The development may not be begun unless:

- (a) a Biodiversity Gain Plan has been submitted to the planning authority; and
- (b) the planning authority has approved the plan.

The purpose of the General Biodiversity Gain Condition is to secure the 'Biodiversity Objective', which requires the post-development biodiversity value to exceed the pre-development biodiversity value of the on-site habitat by at least 10%.

Biodiversity net gain can be achieved through habitat creation or enhancement on-site or off-site; the purchase of biodiversity units from a habitat bank; or as a last resort through the purchase of statutory credits; or a mixture of these.

The General Biodiversity Gain Condition has a separate legal basis in contrast to other planning conditions and will apply to all planning permissions, unless exempt. The General Biodiversity Gain Condition will therefore not appear on the decision notice along with the list of planning conditions imposed on the application, rather it will be referenced separately. The General Biodiversity Gain Condition cannot be varied or removed by an application under section 73 of the Town and Country Planning Act. It also cannot be discharged as part of the grant of planning permission.

Yorkshire Water advise that the submitted drainage strategy requires amendments, to be secured by the surface water drainage condition, which should include the submission of evidence to show that other (than discharge to public sewer) means of surface water disposal have been considered and why they have been discounted. The developer must provide evidence to demonstrate that surface water disposal via infiltration or watercourse are not reasonably practical before considering disposal to public sewer. Subject to receipt of satisfactory evidence to justify the rejection of other means of surface water disposal, curtilage surface water may discharge to the public surface water sewer at an unrestricted rate (10% betterment coming from the reduction in the impermeable area). The developer will be required to provide evidence of existing positive drainage to a public sewer by means of physical investigation. On-site attenuation, taking into account climate change, will be required before any discharge to the public sewer network is permitted.

On the Statutory Sewer Map, there is a 225 mm diameter Yorkshire Water maintained disposal main recorded to cross the site. It is essential that the presence of this infrastructure is taken into account in the design of the scheme.

- a.) It may not be acceptable to raise or lower ground levels over the sewer and Yorkshire Water will not accept any inspection chambers on the sewer to be built over.
- b.) In this instance, Yorkshire Water would look for this matter to be controlled (by Requirement H4 of the Building Regulations 2010).

The development hereby approved includes the demolition of existing buildings. You are advised that before undertaking any demolition, you may require a demolition licence from the Highway Authority. Please be aware that works shall be to the satisfaction of the Highway Authority and if you start demolition work without the appropriate licence, you may be prosecuted. Fees are payable for the approval of demolition, and you will be issued with a Section 81 notice prior to commencing work. Further information and an application form are available on the BMBC website at <https://www.barnsley.gov.uk/services/planning-andbuildings/building-control/get-permission-to-demolish-a-building/> or please contact at email demolition@barnsley.gov.uk or call to 01226 773555.

STATEMENT OF COMPLIANCE WITH ARTICLE 35 OF THE TOWN AND COUNTRY DEVELOPMENT MANAGEMENT PROCEDURE ORDER 2015

The above objections, consideration and resulting recommendation have had due regard to Article 8 and Article 1 of the First Protocol of the European Convention for Human Rights Act 1998. The recommendation will not interfere with the applicant's and/or objector's right to respect for his private and family life, his home and his correspondence.

In dealing with the application, the Local Planning Authority has worked with the applicant to find solutions to the following issues that arose whilst dealing with the planning application:

- The need to make amendments to the submitted Preliminary Ecological Appraisal
- The need to submit an Arboricultural Impact Assessment