

2022/1252

Mr John Wainwright

33 Broadway, Barnsley, S70 6QL

Removal of existing conservatory and erection of single storey extension to the rear elevation of the property

Site Description

33, Broadway is a two-storey, semi-detached property in Barnsley. Broadway displays a varied street scene, which consists of a mixture of semi-detached and detached dwellings. These vary in scale between single storey bungalows and two-storey dwellinghouses. Design features and characteristics also vary, with external materials consisting of a mixture of brickwork, render, UPVC cladding, and varied roofing materials.

The original dwelling features existing velux roof lights within its East and West elevations. Additionally, the property utilises brickwork, roof tiles, white render, and grey UPVC framing. 33, together with 35, Broadway enforce a more modernised aesthetic within the general street scene.

The site is a corner plot at the junction of Broadway with Woodland Drive opposite neighbouring property 18, Broadway. 33, Broadway is situated within a uniform building line that displays minimal differences in height, resulting in an appearance of being slightly staggered.

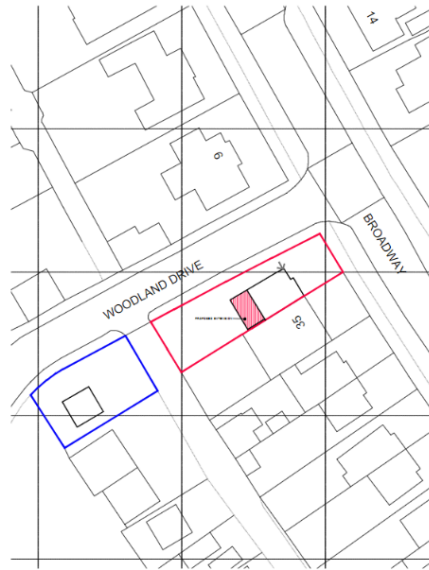
Access to the site can be achieved to the East and West, with gated access points placed off Broadway in the East (front) and an access road to the West (rear).

Boundary treatments around the site are consistent along the North (side), East (front), and West (rear) boundaries, particularly, regarding scale and appearance, with a combination of brickwork and timber used. The South (side) boundary is shared with neighbouring property 35, Broadway and takes the form of high, timber fencing.

To the front of the dwelling is a sizeable, paved area that continues alongside and to the rear. To the rear of the dwelling is a garden space and an existing single storey conservatory extension. Beyond the West (rear) boundary is an area of land, also belonging to 33, Broadway. This consists of a paved driveway, grass verges, and a single storey detached, double garage. The garage utilises external materials that are similar to the host dwelling, primarily, brickwork, white render, and tiling. The garage features a gable roof and its own boundary treatments, consisting of metal poles and chains. Beyond the garage is an area of designated greenspace.

Along the rear access road, various extensions can be seen to most neighbouring properties. These appear to be mostly single-storey structures, with differences visible concerning scale, design, and external materials used. These differences are also applicable to the detached garages and outbuildings present.

Furthermore, Broadway is a part of the Local Strategic Highway Network and an identified Air Quality Link Road over 10k. The site is also partially covered by an area identified as being a high-risk development area by The Coal Authority.



BLOCK PLAN SCALE 1:500



Planning History

B/02/1102/BA - Erection of rear conservatory. – Historic.

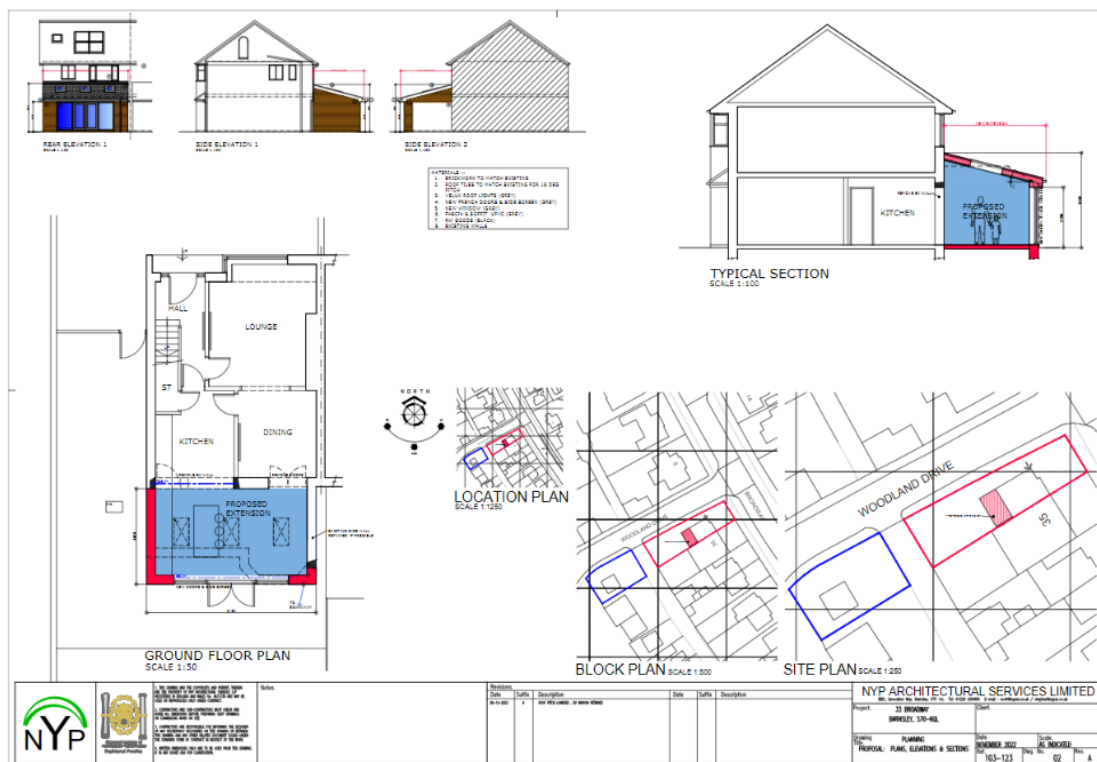
Proposed Development

The applicant is seeking approval for the removal of an existing conservatory and the erection of a single storey extension to the rear elevation of the property.

The proposed single storey rear extension would have an approximate projection of 3.49 metres and a width of approximately 6.19 metres. The existing set-in from the shared side boundary with neighbouring 35, Broadway would be maintained, with the proposals showing that an existing side wall adjacent to this boundary is to be retained, if possible.

The proposals show an approximate eaves height of 2.57 metres and a ridge height of approximately 3.66 metres. A lean-to roof would be utilised, and to enable the appropriate and sufficient bonding of the extension to the original dwelling, minor alterations to a first-floor opening are proposed, with works to include raising the sill and the insertion of a replacement window.

The proposed extension would feature French doors and subsequent side screening, along with provisions for the insertion of 3 no. velux roof lights. Proposed external materials would include the use of matching brickwork and roof tiles, alongside grey framing for the various openings.



Policy Context

Planning decisions should be made in accordance with the current development plan policies unless material considerations indicate otherwise. The recently revised National Planning Policy Framework (NPPF) does not change the statutory status of the development plan as the starting point for decision making.

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027, or earlier, if circumstances require it.

Local Plan Allocation – Urban Fabric

The Barnsley Local Plan (BLP) was adopted at the full Council meeting held 3rd January 2019. The Local Plan is accompanied by seven masterplan frameworks which apply to the largest site allocations (housing, employment, and mixed-use sites). Additionally, the Local Authority (LPA) has adopted a series of Supplementary Planning Documents (SPD), and Neighbourhood Plans which provide supporting guidance and specific local policies and are a material consideration in the decision-making process.

In reference to this application, the following policies are relevant:

Policy SD1: Presumption in favour of Sustainable Development – The policy states that proposals for development will be approved where there will be no significant adverse effect on the living conditions and residential amenity of existing and future residents. Development will be expected to be compatible with neighbouring land and will not significantly prejudice the current or future use of neighbouring land. Policy GD1 below will be applied to all development.

Policy GD1: General Development – The policy states that proposals for development will be approved where there will be no significant adverse effect on the living conditions and residential amenity of existing and future residents. Development will be expected to be compatible with neighbouring land and will not significantly prejudice the current or future use of neighbouring land. Policy GD1 below will be applied to all development.

Policy D1: High quality design and place making – The policy states that development is expected to be of high-quality design and will be expected to respect, take advantage of and reinforce the distinctive, local character and features of Barnsley.

Policy T4: New Development and Transport Safety – New development will be expected to be designed and built to provide all transport users within and surrounding the development with safe, secure, and convenient access and movement.

Supplementary Planning Document: House extensions and Other Domestic Alterations

This document establishes the design principles that specifically apply to the consideration of planning applications for house extensions, roof alterations, outbuildings & other domestic alterations. The general principles are that proposals should:

- Be of a scale and design which harmonises with the existing building;
- Not adversely affect the amenity of neighbouring properties;
- Maintain the character of the street scene; and

- Not interfere with highway safety.

The above principles are to reflect the revised principles in the NPPF, which promote high quality design and a good standard of amenity for all existing and future occupants of land and buildings.

National Planning Policy Framework

The NPPF sets out the Government's planning policies and how these are expected to be applied. The core of this is a presumption in favour of sustainable development. Proposals that align with the Local Plan should be approved unless material considerations indicate otherwise. In respect of this application, relevant policies include:

Section 12: Achieving well designed places - The Government attaches great importance to the design of the built environment. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities. It is important to plan positively for the inclusion of high-quality design for all developments, including individual buildings, public and private spaces, and wider area development schemes.

Within section 12, paragraph 134 states that *“development that is not well designed should be refused, especially where it fails to reflect local design policies and government guidance on design, taking into account any local design guidance and supplementary planning documents such as design guides and codes”*.

Consultations

No consultees were consulted on this application, however, the appropriate informative regarding development within a high-risk development area, as identified by The Coal Authority, should be included within the decision of planning permission.

Representations

Neighbour notification letters were sent to surrounding properties, no objections or comments were received.

Assessment

Principle of Development

The site falls within urban fabric which has no specific land allocation; however, the site and surrounding area is made up principally of housing. Extensions to residential properties are considered acceptable where they do not have a detrimental impact on the amenity of surrounding residents, visual amenity, and highway safety.

Residential Amenity

Proposals for house extensions are considered acceptable where they do not adversely affect the amenity of neighbouring properties.

The SPD states that *‘single storey extensions to the rear of semi-detached dwellings should not project more than 4m and again, the eaves height should not exceed 2.5m where the extension would project beyond 3m.’*

In this instance, the proposed single storey rear extension would have a projection of approximately 3.49 metres from the rear elevation of the original dwelling, and an approximate eaves height of 2.57 metres. Whilst this exceeds the guidance outlined within the SPD, the proposals would not be considered overbearing, especially in the context that the eaves and ridge height of the proposed

extension to 33, Broadway would broadly remain in-line with that of the existing rear extension to adjacent property 35, Broadway. Moreover, the proposed utilisation of a lean-to roof alongside relatively good boundary treatments between the two properties, and a lesser projection than that of 35, Broadway's rear extension would be considered sufficient to reduce or remove any potential impacts regarding overshadowing, loss of light, and loss of outlook.

As such, when considered on balance, the minimal difference of 0.07 metres regarding eaves height, would not be considered detrimental to the amenity of neighbouring properties regarding overshadowing, resulting in the loss of light. The proposals, therefore, would be considered acceptable.

In terms of overlooking the SPD states that *'12 metres should be maintained to a blank gable wall and 10m should normally be provided between rear-facing windows on the first floor (and above) and the rear boundary.'*

In this instance, the proposed extension would be of a single storey. Additionally, approximately 13.69 metres would be achieved between the rear elevation of the proposed rear extension and the rear boundary, therefore, meeting the guidance of the SPD.

Moreover, The SPD states that *'windows to habitable rooms on an extended property should not be less than 21 metres from any other properties with habitable room windows, to ensure reasonable privacy to you and your neighbours'* explaining that *'habitable rooms should be taken to include: lounge/living room, dining room, kitchen, bedroom, and study'*.

In this instance, the proposed extension would be of a single storey. Moreover, beyond the rear boundary is an area of land belonging to 33, Broadway that is currently siting an existing single storey detached double garage. As such, no habitable room windows would be affected by the proposed development. Furthermore, existing boundary treatments are considered sufficient to reduce or remove any potential impacts regarding overlooking and loss of privacy, particularly, to neighbouring properties West of the site. The proposals, therefore, would be considered to meet the guidance of the SPD.

The proposals, therefore, would not be considered detrimental to the amenity of neighbouring properties regarding overlooking, resulting in a loss of privacy. The proposals, therefore, would be considered acceptable.

The proposals, on balance, are therefore considered to be compliant with Local Plan Policy GD1: General Development and would be acceptable in terms of residential amenity.

Visual Amenity

The SPD states that *'materials should normally be of the same type, colour and texture to the existing house or as close a match as possible'*. In this case, the proposed materials would match those used within the original dwelling, utilising matching brickwork, roof tiles, and grey UPVC.

Additionally, the SPD states that *'the roof, style pitch and detailing should match those of the existing dwelling, particularly where the extension will be prominent within the street scene'*. In this instance, whilst the proposed extension would not necessarily be prominent, it would be visible from public viewpoints within the general street scene of Woodland Drive. As such, the proposals show the utilisation of a lean-to roof, which would be considered an appropriate roof type to reflect that of the original dwelling.

Moreover, the existing boundary treatments would be considered sufficient to reduce the impacts of the proposed development on the character of the street scene.

Therefore, considered on balance, the utilisation of matching materials and appropriate roof design, alongside existing boundary treatments, would be considered sufficient to ensure the proposed extension maintains a degree of cohesiveness with the original dwelling, whilst remaining sympathetic to the broader contextual surroundings of the site.

The proposals, therefore, would be considered not to detrimentally affect or alter the character of the street scene, and would be considered acceptable.

The proposals, on balance, are therefore considered to be compliant with Local plan Policy D1: High Quality Design and Placemaking and would be acceptable regarding visual amenity.

Highway Safety

The proposed extension would not result in the loss of off-street parking, nor a requirement for additional provision. As such, the proposals would be considered acceptable and in compliance with Local plan Policy T4: New Development and Transport Safety.

Recommendation

Approve with Conditions