

---

2024/0404

Miss Rebecca Kowalski

11 Hillside Way, Wortley, Sheffield, S35 7DD

Erection of a single storey extension to the side of the dwelling with a south-western projection facing Hillside Way.

---

### Site Description

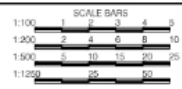
The application relates to a plot located to the northern end of Hillside Way – a residential cul-de-sac located in an area that is a mix of residential properties and Green Belt land characterised by two-storey semi-detached and terraced properties of a similar scale and appearance and grass land. Halifax Road is located to the east of the application site.

The property in question is a two-storey semi-detached dwelling constructed of stone with a pitched roof with grey roof tiles. A raised patio wraps around the south-west and south-east elevations of the property abutted by areas of soft landscaping. Existing parking arrangements are located to the south-west of the property. There are a mix of boundary treatments, including mixed vegetation, timber fencing and stone walls, and noticeable ground level differences which descend north-east to south-west. The application property is set back and down from Halifax Road.



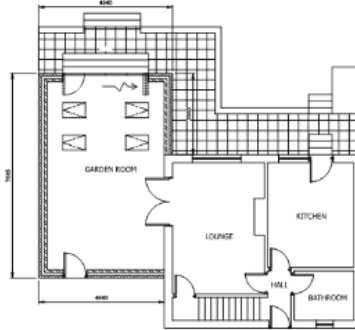
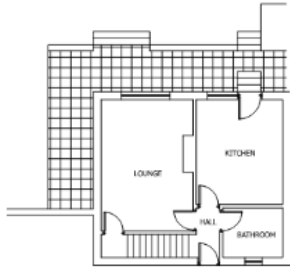


Drawing No.	Rev No.
MRK001 -004	



DO NOT SCALE. Coordinates for each of dimensions and spot heights are provided in notes.

NOTES



No.	Description	By	Check	Date
-----	-------------	----	-------	------

PREPARED FOR  
11 Hillside Way  
Wortley  
Sheffield  
S35 7UD  
R. KOWALSKI  
Architect  
11 Hillside Way, Wortley, Sheffield, S35 7UD  
Tel: 0114 275 1234  
Email: info@rkowalski.co.uk  
www.rkowalski.co.uk

R. KOWALSKI

PROPOSED PLANS

11 HILLSIDE WAY  
WORTLEY  
SHEFFIELD  
S35 7UD

PROPOSED SINGLE STOREY  
FRONT EXTENSION

PLANNING

FIRST ISSUE

Author	Checked	Date
MRK001	004	

## **Policy Context**

Planning decisions should be made in accordance with the current development plan policies unless material considerations indicate otherwise; the National Planning Policy Framework (NPPF) does not change the statutory status of the development plan as the starting point for decision making. The Local Plan was adopted in January 2019 and is now accompanied by seven masterplan frameworks which apply to the largest site allocations (housing, employment, and mixed-use sites). In addition, the Council has adopted a series of Supplementary Planning Documents and Neighbourhood Plans which provide supporting guidance and specific local policies which are a material consideration in the decision-making process.

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027, or earlier, if circumstances require it.

### Local Plan Allocation – Urban Fabric

The site is allocated as urban fabric in the adopted Local Plan which has no specific land allocation and is located adjacent to the Green Belt. Therefore, the following policies are relevant:

- ***Policy SD1: Presumption in favour of Sustainable Development.***
- ***Policy D1: High quality design and place making.***
- ***Policy GB1: Protection of Green Belt.***
- ***Policy GD1: General Development.***
- ***Policy T4: New Development and Transport Safety.***

### Supplementary Planning Document(s)

- ***House Extensions and Other Domestic Alterations.***
- ***Parking.***

### National Planning Policy Framework

The NPPF sets out the Government's planning policies and how these are expected to be applied. The core of this is a presumption in favour of sustainable development. Proposals that align with the Local Plan should be approved unless material considerations indicate otherwise. In respect of this application, relevant policies include:

- ***Section 12: Achieving well-designed and beautiful places.***
- ***Section 13: Protecting Green Belt land.***

### Other Material Considerations

- ***South Yorkshire Residential Design Guide 2011.***

## **Consultations**

Wortley Parish Council – No response.

## **Representations**

Neighbour notification letters were sent to surrounding properties. No representations were received.

## **Assessment**

### Principle of Development

Extensions and alterations to a domestic property are acceptable in principle provided that they will remain subservient to the host property, are of a scale and design which is appropriate to the host property and are not detrimental to the amenity afforded to adjacent properties, including visual amenity and highway safety.

The permitted development rights for householders' technical guidance 2019 provides a definition of "principal elevation" stating that in most the principal elevation will be that part of the house which fronts (directly or at an angle) the main highway serving the house (the main highway will be the one that sets the postcode for the house concerned). It will usually contain the main architectural features such as main bay windows or a porch serving the main entrance to the house. Usually, but not exclusively, the principal elevation will be what is understood to be the front of the house. Based on the technical guidance, it could be argued that the south-western elevation facing Hillside Way is the front principal elevation of the application property. Access is taken off Hillside Way with this street providing the postal address. Halifax Road to the north-east is separated from the application site, with the application property being set back and down. No vehicular access is taken directly from Halifax Road to the application site. It is on this basis that the south-western elevation facing Hillside Way has been considered as the front elevation.

The application site is located adjacent to Green Belt land but is allocated as urban fabric within the adopted Local plan. As such, a separate Green Belt assessment is not required in this instance but consideration will be given to the impact upon and preservation of the openness of the Green Belt in relation to visual amenity.

### Visual Amenity

Proposals for extensions and alterations to a domestic property are considered acceptable provided that they would not significantly alter or detract from the character of the street scene and would sympathetically reflect the style and proportions of the existing dwelling.

The application property is a semi-detached dwelling located at the northern end of Hillside Way. It is separated from adjacent rows of terraced properties and is set back and down from Halifax Road. The application site is well screened by existing trees and vegetation to its east and west boundaries with further screening provided by an existing hedge to the south. The proposed extension would therefore be unlikely to be a prominent feature within the street scenes of Halifax Road or Hillside Way, though some limited views from the public realm could be possible.

The proposed extension would be erected to the side of the application property with a south-western projection facing Hillside Way. The extension would adopt a sympathetic form and features, including pitched roof types and closely matching external materials, and would not adopt an excessive sideways projection more than two thirds the width of the original dwelling. The south-western projection of the extension could contribute to some unbalance between the pair of existing semi-detached dwellings. However, given that the extension would adopt a relatively modest scale and the application site is somewhat isolated with good quality screening, the proposal is not considered to significantly detract from or alter the character of the street scene and would sympathetically reflect the proportions of the existing dwelling.

The application site is bounded by Green Belt land to the north, east and west. The proposal would be implemented within the residential curtilage of and would be attached to the application property. The proposal is therefore unlikely to impact the openness of the Green Belt.

The proposal is therefore considered to comply with *Local Plan Policy D1: High Quality Design and Placemaking* and would be acceptable regarding visual amenity.

### Residential Amenity

Proposals for extensions and alterations to a domestic property are considered acceptable provided that they would not adversely affect the amenity of neighbouring properties.

The proposed extension would be erected to the side of the application property with a south-western projection facing Hillside Way. The extension would be located to the north of 10 Hillside Way and to the south of 12 Hillside Way. Generally, extensions located to the south of neighbouring properties are likely to have a greater impact regarding overshadowing. However, in this instance, the proposed extension would be located several metres from both neighbouring properties and therefore any potential impact would likely be limited to the curtilage of the application property, and not to the curtilages or habitable room windows of neighbouring properties. The south-western projection of the extension could contribute to some overshadowing of a ground floor habitable room window to the application property. However, the window would likely maintain some access to natural light in the late afternoon to evening and therefore the amenity of the occupant(s) of the application property is not considered to be significantly detrimentally impacted.

New glazing would be limited to the south-west elevation of the extension and would face into the application site and towards Hillside Way and the Green Belt land beyond, and not surrounding neighbouring properties. Rooflights would be located on the south-east and north-west roof planes of the extension. However, due to their height and positioning in the extension, the roof lights would unlikely contribute to significantly increased levels of overlooking.

The proposal is therefore not considered to result in significantly increased levels of overshadowing, overlooking or reduced levels of outlook and is considered to comply with *Local Plan Policy GD1: General Development* and would be acceptable regarding residential amenity.

### Highway Safety

The proposal would not impede existing parking arrangements to the west of the application property and would not result in a requirement to provide additional spaces.

The proposal is therefore considered to comply with *Local Plan Policy T4: New Development and Transport Safety* and would be acceptable regarding highway safety.

**Recommendation -  
Approve with Conditions**