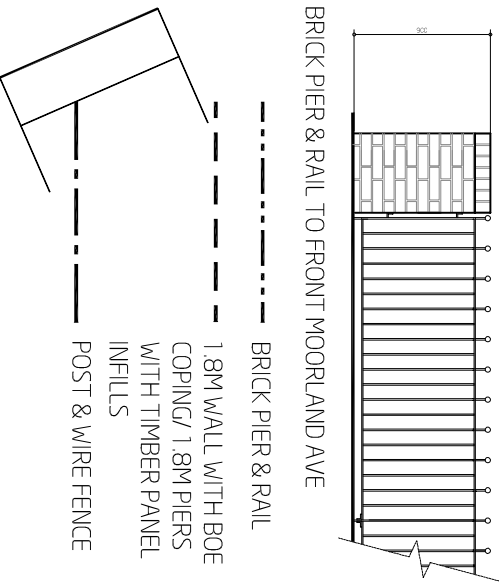
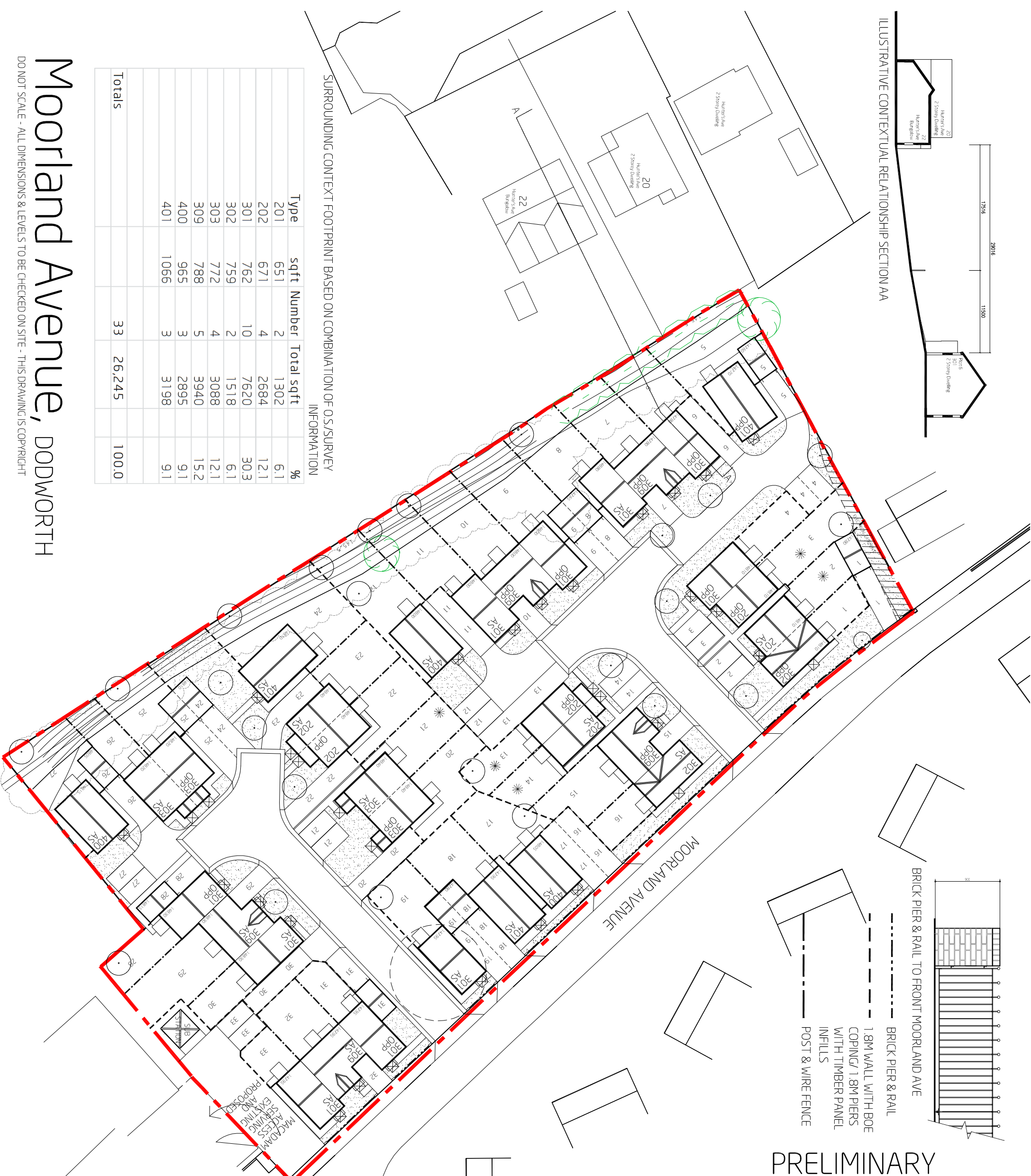


ILLUSTRATIVE CONTEXTUAL RELATIONSHIP SECTION AA

SURROUNDING CONTEXT FOOTPRINT BASED ON COMBINATION OF O.S./SURVEY INFORMATION

Type	sqft	Number	Total sqft	%
201	651	2	1302	6.1
202	671	4	2684	12.1
301	762	10	7620	30.3
302	759	2	1518	6.1
303	772	4	3088	12.1
309	788	5	3940	15.2
400	965	3	2895	9.1
401	1066	3	3198	9.1
Totals		33	26,245	100.0

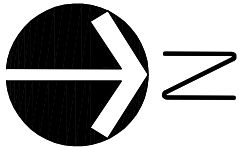
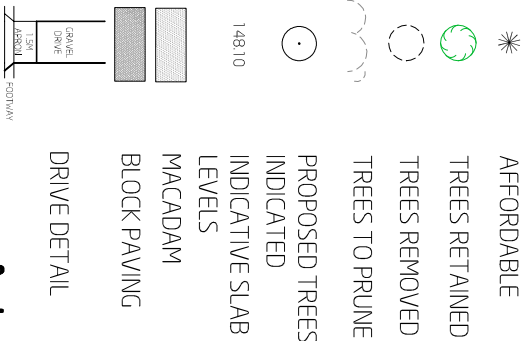


PRELIMINARY

project	MOORLAND AVENUE DODDWORTH		
client	GLEESON		
title	SITE LAYOUT PLAN		
date	DEC 11	scale	1:500@A3
drawing number	2486-100	drawn	GNA
	M	checked	SAN
www.niemen.co.uk			
Niemen Architects Deck 2, The Waterscape 412 Leeds & Bradford Road Kirkstall, Leeds LS5 3EG Tel: 0113 239 5400 Fax: 0113 239 5401 office@niemen.co.uk			

revision	date	content	initials
E	19/03/12	BOUNDARY DISPLAY AMENDMENT	RB
F	20/03/12	GARAGES INDICATED	RB
G	26/03/12	SUBSTANTIAL LAYOUT AMENDED BOUNDARY TREATMENT KEY INCORPORATED	RB
H	14/05/12	LAYOUT REVISED TO INCORPORATE GREATER DISTANCE TO SOUTHERN BOUNDARY CONTEXT INDICATED SECTION ADDED	RB
I	14/05/12	ELECTRICAL EASEMENT TO NORTHERN BOUNDARY HIGHLIGHTED	RB
J	15/05/12	SECTION AMENDED	RB
K	17/05/12	PLOT 1 SUBSTITUTION MULTIPLE GARAGES REMOVED BRICK AND PIER BOUNDARY TREATMENT INDICATED TO FRONT MOORLAND AVE	RB

L 21/06/12 AMENDED TO CLIENT COMMENTS FOLLOWING INTERNAL REVIEW RB
M 15/06/12 TURNING HEAD ADJACENT TO PLOT 23 REPOSITIONED AND EXTENDED BY 1M FOLLOWING CONSULTATION RESPONSE FROM RB
HIGHWAYS AMENDMENT TO BOUNDARY KEY.



Moorland Avenue, DODWORTH

DO NOT SCALE - ALL DIMENSIONS & LEVELS TO BE CHECKED ON SITE - THIS DRAWING IS COPYRIGHT

NB: GARAGES OPTIONAL SCREEN FENCE IN LIEU
MACADAM APRON WITH GRAVEL TO DRIVES