

Householder Proforma

Application Ref: 2023/0856

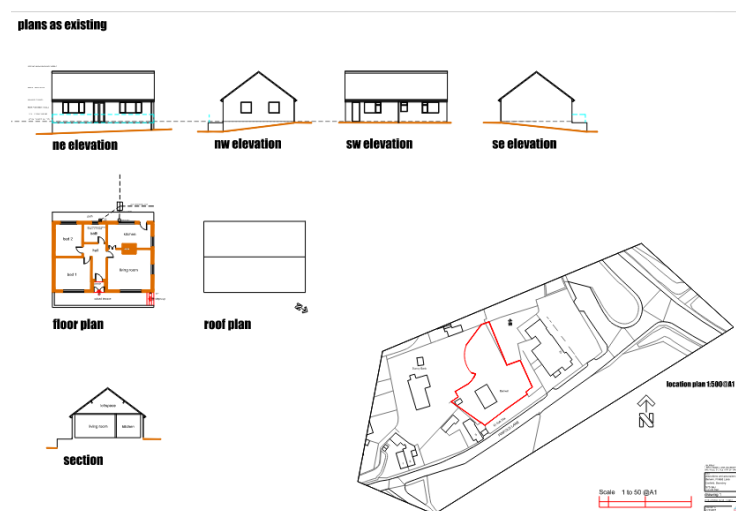
Address: Benwin, Pinfold Lane, Darfield, S73 9HT

Neighbour Representations: None

Application: Rear 2 storey extension, front porch extension and external steps to existing single storey dwelling. Raising ridge height of roof to provide rooms in roof space, provision of 2 x front dormers and velux roof windows, regrading of ground levels and formation of retaining walls, patio and stair, construction of detached garage/gym (resubmission of approved application 2023/0084).

Property Description: Benwin is a detached brick-built bungalow, set within a large sloping site off Pinfold Lane, Darfield. The site is set within a residential area surrounded by residential properties and with a Thai Indian Restaurant located to the east of the site. Pinfold Lane is characterised with different property types displaying differing materials. The property is located at a much higher level than the road, and due to the differing land levels the surrounding properties are also built at different and some even split levels. The site to the West has tall conifer trees along the boundary and the property to the Northwest has a number of trees along the shared boundary providing privacy.

The property is a modest red brick dwelling designed with a pitched roof and a raised patio at the front. The property stands within a large, grassed site, with several trees surrounding the site protected by a Tree Preservation Order. There is a retaining wall set between the dwelling and Pinfold Lane. A small outbuilding is set to the north of the dwelling. The Environment Agency Flood map shows that part of the eastern portion of the garden is located within Flood Zone 2.



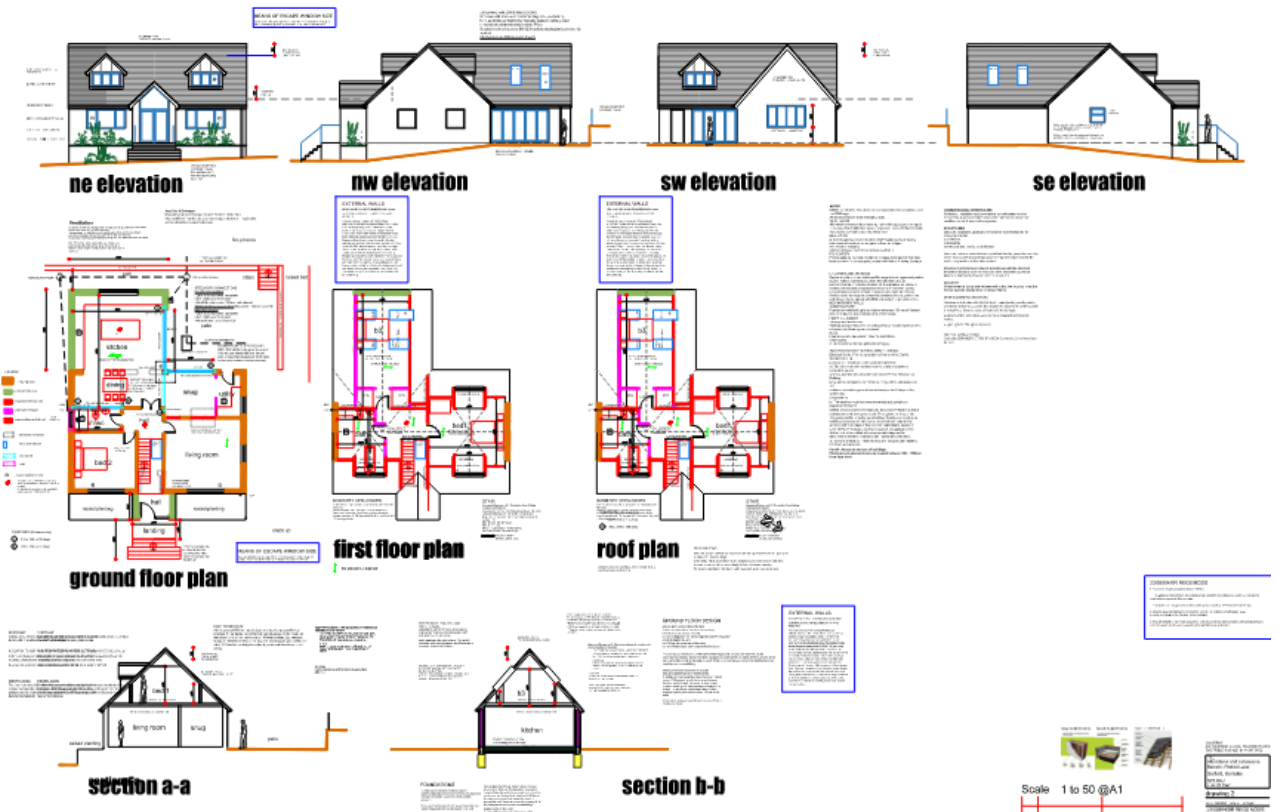
Proposed: The proposal is the same as the approved application 2023/0084 with the addition of raising the roof of the main dwelling to accommodate the rooms in the roof space and achieve the required internal head height.

The proposal is to raise the height of the roof 0.723m above the existing. The proposal is to also erect a 2-storey extension projecting 5m to the rear measuring 6.19m in width. The extension will provide a kitchen on the ground floor and bedroom within the roof space with Velux windows on both roof slopes. Living accommodation will also be provided within the roof space of the main house with two pitched roof dormers on the front elevation, one to the rear. A small porch at the front is proposed measuring 1.625m projection, 2.7m wide, 2.3m to the eaves and 3.44m in total height, designed with a pitched roof and a glazed gable entrance.

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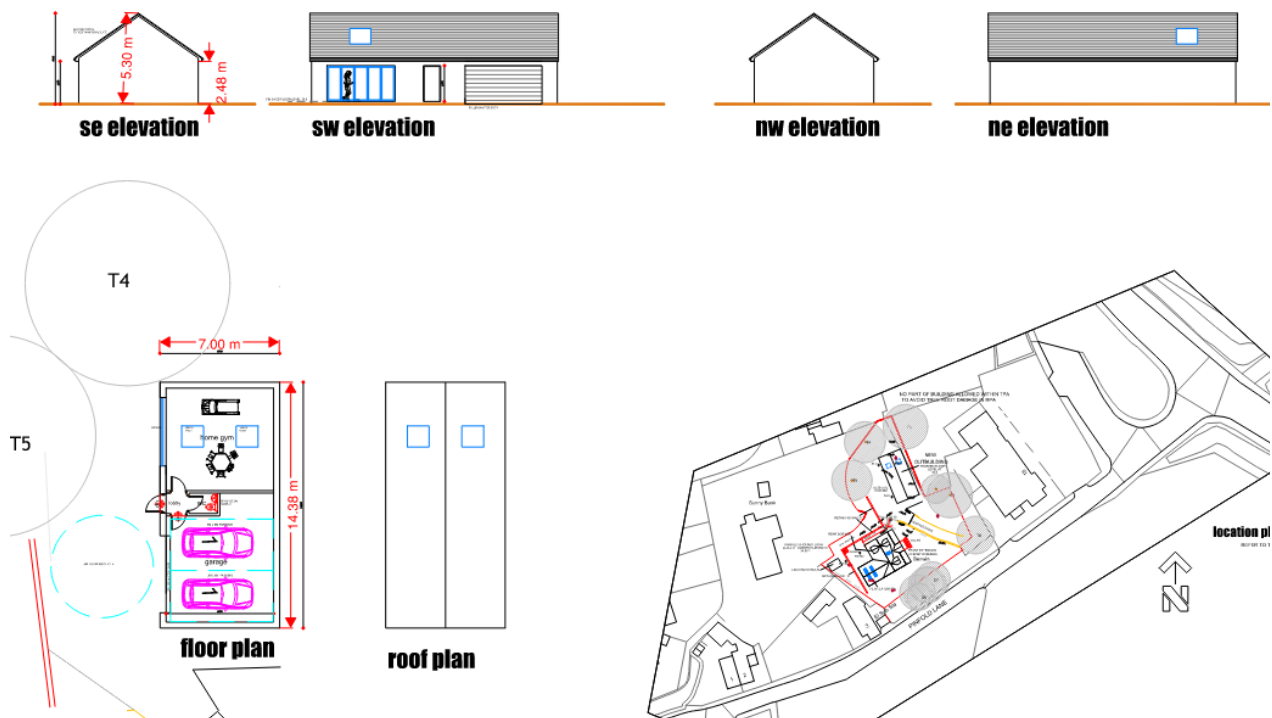
Due to the land levels a staircase will provide access to the porch approximately 1m in height flanked by raised flower beds replacing the existing raised patio. The materials are proposed to be matching in brick and tile and for the dormers lead fronts and cheeks are proposed. Part of the application will see the regrading of ground levels around the dwelling and formation of retaining walls on the west boundary.

plans as proposed



The application also proposes to erect a detached double garage and gym close to the eastern boundary. The outbuilding proposal was significantly reduced within the previous application to provide accommodation for two cars, a toilet and home gym. The proposal will measure 7m in width, 14.38m in length, 2.48m to the eaves and 5.3m total height. The building will be in brick and tile with a pitched roof to match the host property. The land surrounding the garage is proposed to be regraded to provide a driveway and turning circle.

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Consultations:

Highways – No objections as previous application subject to conditions

Tree officer – No objections as previous application subject to conditions

Local Plan Designation: Urban Fabric

Conservation Area: No

Relevant History: 2021/1372 - Demolition of existing bungalow and outbuilding and erection of new dwelling - Approved.

2023/0084 Rear two storey extension; front porch extension and external steps; alterations to roof including two front dormers and velux roof windows; regrading of ground levels and formation of retaining walls, patio and stair; construction of detached garage/gym - Approved.

Acceptable in Principle: The proposal is acceptable in principle. Extensions to domestic properties are acceptable in principle subject to the following assessment:

Side Extension:	No
Single Storey	
1. setback.	
Two Storey / First Floor	
2. set back / set down (500mm minimum)	
3. less than 2/3 the width of the original dwelling	
All	
4. roof design corresponds to existing.	

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5. windows / doors of a similar design / proportion	
6. habitable room windows on the side elevation	
7. materials to match	
8. neighbouring property extended to side or windows?	
9. Any change to parking or access?	

Rear Extension:

	Yes
Single Storey	1.5 storey
1. terraced property and less than 3.5m (projection to rear)?	
2. semi-detached and less than 4m?	
3. if more than 3m are the eaves more than 2.5m in height?	Yes
Two Storey	
4. terraced property and less than 2.5m (projection to the rear)?	
5. semi-detached and less than 3.5m?	
All	
6. materials to match	Yes, Matching brick and tile
7. roof design compliments / ties in well	Yes, to match the existing
8. habitable room windows on the side elevation?	Velux windows proposed
9. distance to rear boundary (shared with another residential property) 10m or more?	<p>5.18m to the rear which is much less than the expected 10m.</p> <p>As the proposal is to raise the height of the original property by 0.723m. The impact of this needs to be addressed. The development will be located close to the shared boundary which is not ideal. However, the land levels of the neighbouring property are at a much higher level than the application site, and there are</p>

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	high hedges along the Southwest boundary which will also retain privacy. The Velux windows proposed on the Western elevation will face the rear garden area of the neighbouring property at a distance of approximately 6m. Along this boundary are a number of mature trees within the neighbour's garden, which is at a higher land level to the host property. As the neighbouring property and land levels are higher this will mitigate the new height of the development. Furthermore, it is noted that although the roof height will be raised, the height of the windows will remain the same as in the previously approved application. As a result residential amenity is not expected to be reduced by the amended proposal.
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Front Extension:

	Yes
1. single storey?	Yes
2. small projection? (confirm measurement)	Yes, 1.625m
3. roof design corresponds to existing.	Yes, pitched
4. windows / doors of a similar design / proportion	A glazed porch gable will face forward. As this is associated with the proposed porch and will be surrounded by matching brick the proposed glazing is not expected to be an injurious feature within this setting.
5. materials to match	Yes

Dormer Extension

	Yes
1. Pitched roof dormer on principle roof slope?	Yes, two pitched roof dormers on the front roof slope
2. Flat roof dormer on rear roof slope?	No, a pitched roof dormer on the rear roof slope.
3. Dormers in street scene & similar style?	Yes
4. Set below roof ridge?	Yes
5. Set in [ideally 0.5m] from both the eaves and gable edge?	Yes
6. Set in 0.5m from party walls?	Detached dwelling

Garage / Outbuilding*

	Yes
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6. single storey?	Yes
7. height to eaves 2.5m or less?	Yes
8. sympathetic design and materials to main dwelling?	Yes, matching materials
9. If room in the roof space, is it storage only?	No room in roof space

*granny annexes shouldn't be on this form

Green Belt:

	Measurements
1. Original dwelling	
2. proposed extensions.	
3. any existing extensions (the lean-to extension may not be modern but included it in here just in case)	
4. total extensions (including proposed)	

The regrading of the land surrounding the dwelling and garage are for the purposes of both access, patios and a driveway. These are deemed modest and in keeping with the entire site, in line with Local Plan Policy.

The amended proposal to raise the height of the approved is found acceptable in terms of both visual and residential amenity.

Recommendation: Grant subject to conditions