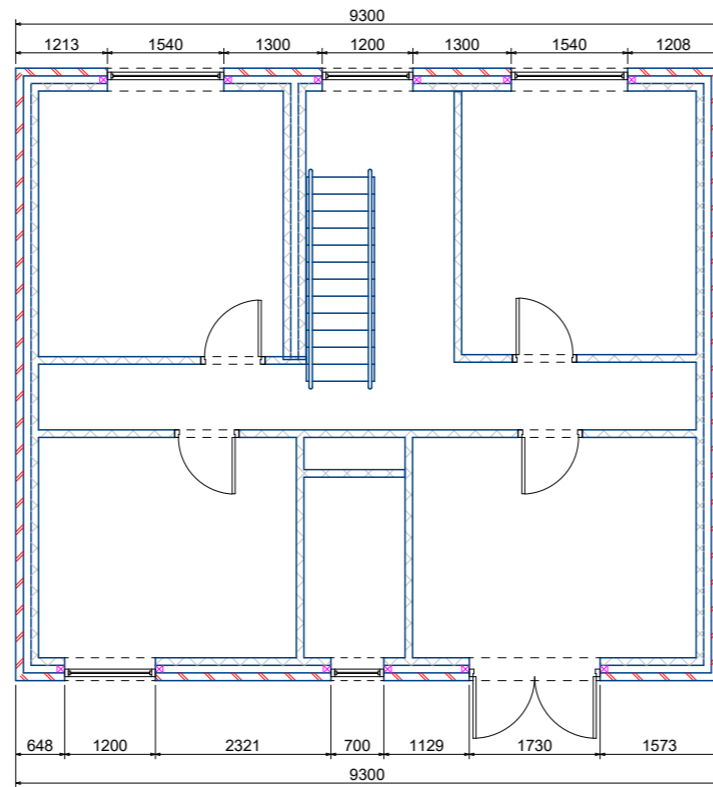
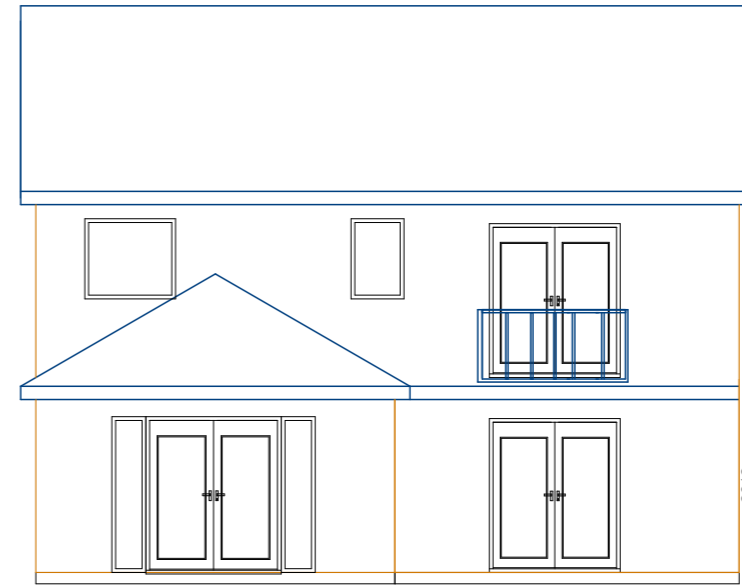


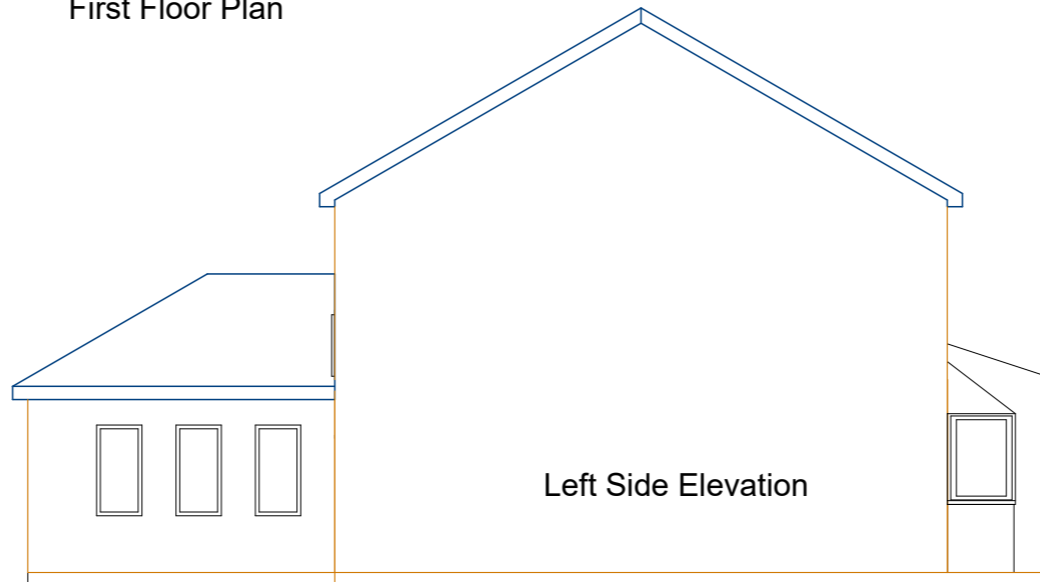
Ground Floor Plan



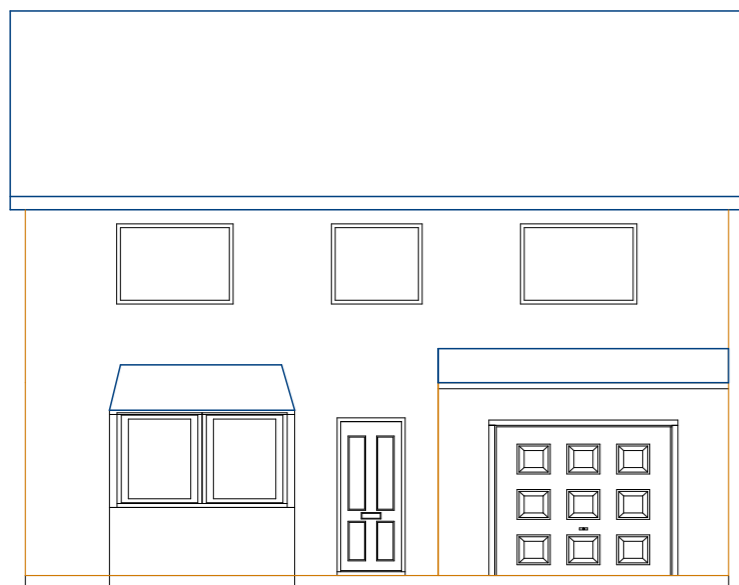
First Floor Plan



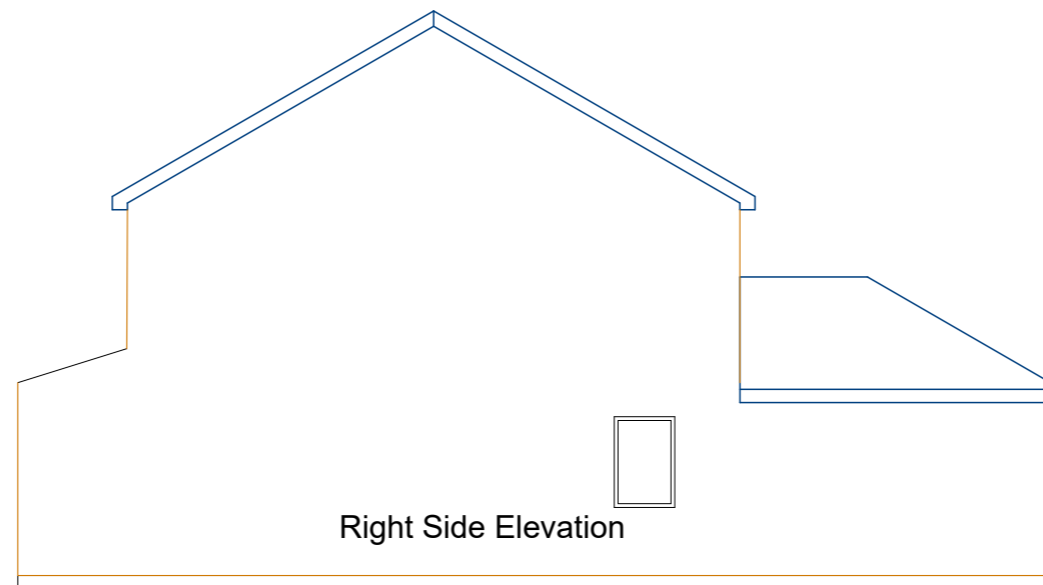
Rear Elevation



Left Side Elevation



Front Elevation



Right Side Elevation

GENERAL NOTES
No building works to be commenced until full planning permission has been granted or permitted development has been confirmed by local authority. All works to be carried out in accordance with the requirements of the Building Act 1984 and current Building Regulations, to the approval of the Building Control Surveyor.

SITE PREPARATION
All vegetable matter to be stripped from site of building and treated with proprietary weed killer where required. Topsoil to be set aside for reuse if suitable and free of contamination.

BUILDING REGULATIONS PART P: ELECTRICAL SAFETY
Electrical installation to be carried out by a professional contractor and to comply with the Electricity At Work Regulations 1989 as amended.
Installation to comply with the Electrical Safety, Quality and Continuity Regulations 2002. Installation to be tested before being taken into service and to comply with BS 7671:2008 and a Provide Part P certificate of compliance obtained from a qualified electrician registered as part of an approved competent person scheme and provided to client and Building Control Surveyor.

ELECTRICS
All electrical works to with the current issue of the "Regulations for Electrical Installations" issued by the Institution of Electrical Engineers. Electrical works to be carried out by approved qualified contractors. Provide Part P certificate of compliance obtained from a qualified electrician registered as part of an approved competent person scheme. All switches and sockets to be between 450 and 1200 mm above F.F.L. Smoke Alarms to be interconnected and mains wired with battery back-up supply positioned minimum 7.5 m from every door to every habitable room, within the circulation space of the dwelling. The design and installation of the fire alarm system should be as per the guidance of BS 5839 Part 1 (current edition).

LIGHTING EFFICIENCY
Controlled services including Heating, Cooling and Lighting for new houses, alterations or extension of the existing lighting system will be carried out in accordance with the current guidance contained within the Domestic Building Services Compliance Guide

DOORS
All doors to achieve max U value 1.200 W/m²K. Glazing to all doors and sidelights less than 1500mm above FFL, glazing within 300mm horizontally of doors and glazing less than 800mm above FFL, are to be either laminated or toughened glass to BS6206:1981. All cavities to be closed around openings with proprietary insulated horizontal and vertical insulated cavity closers incorporating DPC or blockwork & insulated DPC. There may be a need for separate cavity trays above the lintel in accordance with the manufacturer's guidance. Weep holes above openings at maximum 450mm centres, minimum of 2 per opening.

WINDOWS
Double glazed windows. All to achieve max U value 1.400 W/m²K.
All habitable rooms (unless the rooms open directly on to the ground floor hallway which leads to the final exit) are to have egress windows with a clear egress opening of 0.33m², min 450mm wide by 450mm high, with the sill height 800-1100mm above FFL. First floor windows with a sill height less than 800mm above FFL are to have a guard rail minimum 800mm above FFL in accordance with Part K2 of the Building Regulations.
Controls for all openable windows and skylights are to be located so that they may be opened, closed or adjusted safely.
All cavities to be closed around openings with proprietary horizontal and vertical insulated cavity closers incorporating DPC or blockwork & insulated DPC. Lintels to specialist design to openings to have minimum 150mm end bearings with stop ends and are to be factory insulated. Weep holes above openings at maximum 450mm centres, minimum of 2 per opening.
Brick and Block Cavity Wall
Brick and Block Cavity Wall Comprising:
Brick and Block Cavity Wall (External Walls): Facing Bricks, Insulation Block Standard 440 x 215 x 100mm (max conductivity 0.11W/mK), 3.5N Insulation Coursing Block, 100 mm Cavity Wall Insulation, Brickwork Tie, Building Sand, Cement, Board Finish Plaster, 12.5 mm Square Edge Plasterboard, Plasterboard Adhesive, Plasterboard Tape, Skirting Torus/Ovolo 19 x 125mm (Redwood), 65mm Cut Clasp Nails, Contract Emulsion Magnolia, Undercoat, Gloss Brilliant White

Walls
Prior to excavation of trenches trial holes should be formed to determine foundation depths and ground conditions, taking into account adjacent existing foundations, drains and trees etc. Foundation requirements may vary depending on site ground conditions and to be agreed on site with the Building Control Surveyor.
The excavation is to be taken down to competent bearing strata in natural undisturbed ground to the satisfaction of the Building Control Surveyor.
Where the formation is regarded as satisfactory by the Building Control Surveyor excavate and construct concrete trench fill foundations to all external walls, chimneys, piers and internal load-bearing walls, to dimensions shown on section. The foundations shown are based on common practice in the UK and are indicative only and foundation widths should comply with Table 10 of Part A of the Building Regulations to suit the ground conditions on site.

Generally construct facing brick in flush pointed 6:1 sand/cement mortar (unless matching in to other joinings/pointing systems), and 3:1 sand/cement mortar below dip, pointing joints appropriate to the conditions of exposure (See table 4 Diagram 12 of Approved Document C). Lean mix concrete cavity fill to 225 mm below DPC. All internal joints to be left smooth and flush pointed.
All openings around windows, doors etc. to be provided with vertical damp proof courses or proprietary vertical and horizontal cavity insulated cavity closers to prevent cold bridging. All masonry walls to include a horizontal DPC at least 150 mm above ground level lapped into adjacent damp proof membranes. Builder to ensure that all cavities and flashings on the existing building are identified and integrated with new extension to prevent moisture and water ingress into the extension or existing building. Walls to achieve U value of 0.180 W/m²K. Cavity width as shown on plan and/or section insulation as specified in individual wall specifications).
Movement joints to be provided at 12 metre centres for clay bricks and 6 metre centres for concrete blocks.
Where extension walls are constructed on top of existing walls existing foundations and walls to be inspected by Engineer and Building Control Surveyor and design prepared for strengthening or replacement of existing foundations and walls if required.

Client **Barry Link**
Project
Project Description
28 Barnburgh Court
Goldthorpe
S63 9GZ
Drawing Title
Proposed side rear ground & first floor
Drawing No.2
Date
22/09/2016
Scale
1:100
Page Size - A3